

Staff Summary Report

Development Review Commission Date: **09/09/08**

Agenda Item Number: **___**

SUBJECT: Hold a public hearing for a General Plan Amendment, Zoning Map Amendment, Planned Area Development Overlay, and Development Plan Review for THE ELEMENT @ ASU, located at 1949 East University Drive.

DOCUMENT NAME: DRCr_Element@ASU_090908

PLANNED DEVELOPMENT (0406)

SUPPORTING DOCS: Yes

COMMENTS: Request for **THE ELEMENT @ ASU (PL080041)** (JLB Tempe LLC, property owner; Angie Rawie, JLB Partners, applicant) consisting of a new 215 unit student housing complex with 10 live/work units, including an internal parking garage. The building consists of 4 stories within approximately 132,000 s.f. of total building area on 6.35 acres, located at 1949 East University Drive in the R-4(PAD) District. The request includes the following:

GEP08004 – (Resolution No. 2008.80) General Plan Land Use map amendment from “Residential” to “Mixed-Use”, a Projected Residential Density map amendment from “Medium to High Density” (up to 25 du/ac) to “High Density” (greater than 25 du/ac).

ZON08006 – (Ordinance No. 2008.46) Zoning Map Amendment from R-4(PAD), Multi-Family Residential General District to MU-4, Mixed-Use High Density District.

PAD08012 – Amended Planned Area Development Overlay to modify the development standards to allow for a building height increase from 46 feet to 60 feet; reduce front yard building setback from 20 feet to 5 feet; and a density increase from 25 units/acre to 35.4 units/acre.

DPR08161 – Revised Development Plan Review including site plan, building elevations, and landscape plan.

PREPARED BY: Ryan Levesque, Senior Planner (480-858-2393)

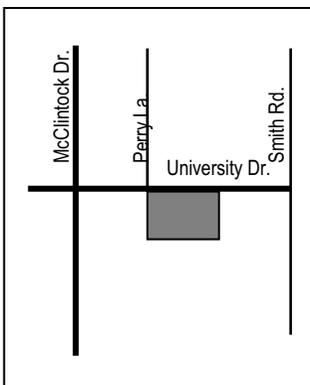
REVIEWED BY: Lisa Collins, Development Services Planning Director (480-350-8989)



LEGAL REVIEW BY: N/A

RECOMMENDATION: Staff – Approval, subject to conditions

ADDITIONAL INFO:	Gross/Net site area	6.35 acres
	Residential Building area	93,487 s.f. (38,274 s.f. garage)
	Dwelling units	225 units, 640 beds (includes 10 live/work units)
	Density	35.4 du/ac (Per PAD 25 du/ac max.)
	Lot Coverage	48% (60% max.)
	Building Height	60 ft (Per PAD 46 ft max. allowed)
	Building setbacks	5' north, 10' west, 9' east, 10' south (Per PAD 20' north, 10' west, 9' east, 10' south min.)
	Landscape area	32% (25% min. required)
	Vehicle Parking	707 spaces (585 min. required)
	Bicycle Parking	246 spaces (246 min. required)



A neighborhood meeting was held on June 30, 2008 with this application.

- PAGES:**
1. List of Attachments
 - 2-5. Comments / Reason for Approval
 - 5-8. Conditions of Approval
 - 9-11. Code/Ordinance Requirements / Project Data
 12. History & Facts / Zoning & Development Code Reference

- ATTACHMENTS:**
1. Resolution No.2008.80
 2. Ordinance No. 2008.46
 - 3-4. Waiver of Rights and Remedies form
 5. Location Map(s)
 6. Aerial Photo(s)
 - 7-11. Letter of Explanation
 - 12-15. General Plan Maps
 16. Neighborhood Meeting Summary
 - 17-18. Site Plan
 - 19-33. Floor plan types
 - 34-38. Floor Levels
 - 39-40. Building Elevations
 - 41-42. Landscape Plan
 43. Preliminary Grading & Drainage Plan

COMMENTS:

This site is located on the south side of University Drive a quarter mile east of McClintock Drive. The site currently consists of over 6 acres of vacant land. Previous uses on the site included an old auto body shop and some residential homes, which were once a series of rental cottages. The vacant site is surrounded by a townhome development to the west and south and an apartment complex to the east. New construction office/commercial development is located on the opposite side of University Drive.

Previous Approvals

This site has previously received approval from City Council on January 4, 2007 for a zoning map amendment from R/O, CSS and R-3 to "R-4, Multi-Family Residential General District", for a previous development consisting of 156 condominium units and a Planned Area Development Overlay in order to modify general development standards of the R-4 District. Those specific modifications included a maximum building height from forty (40) feet to forty-six (46) feet and an east side yard setback reduced from ten (10) feet to nine (9) feet. The Development Review Commission approved the previous Development Plan Review in February of 2007, which has now since expired.

The new applicant (JLB Partners) in process of acquiring the site, applied for a new development plan, approved by Development Review Commission on April 8, 2008. The proposal consisted of a 158 unit student housing complex (435 beds), within a three-story building and an exposed parking structure at the southwest corner of the site. The site configuration was very similar to the new proposal.

Project Analysis

The new request now includes a 215 unit multi-family, student housing development and 10 live/work units, consisting of a total of 640 bedrooms within a four story building. The development is designed to offer a residence-living environment that provides a secured property with exclusive amenities of two internal courtyards with a volleyball court, pool, ramadas, and lush landscape combined with open area turf. Interior amenities include a fitness room, club room, computer labs and study rooms, and a community function room. The housing development has two vehicular access points off of University Drive at the east and west ends of the property. The primary access to the site is on the west end, which includes the leasing office and call box for visitor access. Ingress and egress is provided on the east side with automated gate access only. The six level parking garage for the development, is now internally wrapped with housing units, accessible on the south side of the building, providing a greater distribution of vehicular access from the east and west entrances. Pedestrian access through the student housing complex is provided through a series of carriage entry ways, through the parking structure, or at stairwell access points located at the exterior of the buildings and along the street front. A new bus shelter pad stop will be relocated to this site as part of this proposal.

Landscape

The landscape plan includes approximately 32% of total on-site landscape, consisting of some perimeter trees with parking islands, landscape along the building perimeter, and interior courtyards. University Drive at its existing street curb location, has ample right-of-way for the opportunity to provide a tree-lined landscape buffer, providing more pedestrian friendly separation from automobiles. In lieu of perimeter landscaping, the project intends to provide additional landscape islands between parking spaces, approximately ten (10) trees, along the parking aisle. A condition of approval has been added to ensure the proposed islands provide trees and address any conflicts with lighting at these locations.

GENERAL PLAN

The applicant has provided a written justification for the proposed General Plan amendment. See related attachments.

Land Use Element:

The land use projected for this site is "Residential". The applicant is proposing to modify this land use to "Mixed Use" in order to request the MU-4, Mixed-Use High Density District designation. The mixed use land category encourages creatively designed developments which create a living environment, reflective of a village concept, in which there is the opportunity to live, work and recreate in the same development or within the area. This request proposed provides an integration of live/work space (10 units) and multi-family residential intended for student housing living all on one development. The live/work units front on University Drive with pedestrian access at the front as well as internal access from the corridors. Each of the live/work units has a dedicated area for business activity and a second floor for the residence living space. This layout supports an environment that can equally provide housing while allowing an area with limited amount of outside employees. The remaining residential units are intended for the student housing whereby residents may rent bedrooms individually.

The General Plan Projected Residential Density for this site is currently “Medium to High Density” (up to 25 dwelling units per acre). The previous two requests were consistent with this density designation and with the surrounding neighborhood. The applicant is now requesting a residential density change to “High Density” (greater than 25 dwelling units per acre) to allow for a proposed density of 35.4 units per acre. The high density category encourages compact residences having limited private outdoor space with access to common open space for recreation. Proximity to amenities and configuration of residences encourages resident interaction. This level of intensity should promote a village environment with easy access to goods and services, business and recreation.

ZONING

The applicant is requesting a zoning map amendment from R-4, Multi-Family Residential to MU-4, Mixed-Use High Density District. The previous proposal was consistent with General Plan Projected Land Use and Projected Residential Density maps. The proposed increase in density (35.4 du/ac) now requires the applicant to request a General Plan Map amendment as a result of the zoning designation. As required, for the MU zoning districts both residential and commercial components are required. The applicant is proposing 10 live/work units for this development.

PLANNED AREA DEVELOPMENT

An Amended Planned Area Development Overlay is proposed for this project as a result of the MU-4 designation. Below is a chart outlining proposed changes in standards related to density, height and front yard setback:

Development Standards for Element @ ASU		
Standard	PREVIOUS R-4 (PAD)	PROPOSED MU-4 (PAD)
Residential Density (DU/acre)	25 du/ac	35.4 du/ac
Building Height (feet)		
Building Height Maximum	46 ft	60 ft
Building Height Step-Back Adjacent to SF or MF District	Yes	Yes
Maximum Lot Coverage (% of net site area)	39% (60% max)	48% (no change in max)
Minimum Landscape Area (% of net site area)	39% (25% min)	32% (no change in min)
Setbacks (feet)		
Front	20 ft	5 ft
Side	10 ft west / 9 ft east	No change
Rear	10'	No change

Public Input

A neighborhood meeting is required for this application pursuant to the Zoning and Development Code requirements. On June 30, 2008 a neighborhood meeting was held by the applicant at the Escalante Center at 6 pm. Staff was in attendance at the meeting. The applicant provided a site plan board with representatives from the design team and the developer available. Only one outside member of the public attended the meeting, a student evaluating the meeting for a class assignment. The applicant did meet with a few residents of the adjacent townhome association prior to the meeting to discuss comments. At this time, no additional comments from the public have been provided to staff.

- See attached summary of meeting provided by the applicant.

Conclusion

This development provides a student housing product unique from the standard apartment complexes. The design provides a variety of on-site amenities for residential life. The building elevation design is contemporary and provides relief with variations in building depth, color and materials that complement one another, while establishing a unique housing product and design at the street front. The project will continue the development pattern of residential use on the south side of University Drive. The project should comply with the goals and element objectives of the General Plan 2030 and the approval criteria established for such a request in order to further support the zoning map amendment request and related amendment to the PAD. Staff recommends approval of this request subject to the provided conditions of approval.

REASONS FOR APPROVAL:

Section 6-303 D. Approval Criteria for General Plan Amendment:

1. Appropriate short and long term public benefits;
2. Mitigates impacts on land use, water infrastructure or transportation;
3. Helps the city attain applicable objectives of the General Plan;
4. Provides rights-of-way, transit facilities, open space, recreational amenities or public art;
5. Any potentially negative influences are mitigated and deemed acceptable by the City Council; and
6. The result of the appropriateness of the amendment is determined with regard to market demands, and impacts on surrounding area, service, fiscal, traffic, historic properties, utilities and public facilities.

Section 6-304 C.2. Approval criteria for Zoning Map Amendment:

1. The proposed zoning amendment is deemed necessary to best serve the public interest and the health, comfort, convenience, safety, and general welfare of the city.
2. The proposed zoning amendment conforms with and facilitates implementation of the General Plan.

Section 6-305 D. Approval for PAD:

1. The proposed land uses multi-family housing and live/work units are allowed in Part 3, Permitted Land Uses and are required components of the mixed use designation.
2. The development standards listed above, as established as part of the PAD Overlay District, as well as the standards allowed by use permit in Part 4 will conform to the development of this site.
3. The proposed PAD density is permitted under the MU-4 zoning and proposed maximum building heights are consistent with this type of density. Buildings are setback significantly from adjacent properties, avoiding any direct impact.
4. The reduction in front yard building setback places more emphasis and interaction on the street and creating more functionality to the live-work component and amenities provided near the office.
5. The conditions of approval are reasonable to ensure conformance with the provisions of the Zoning and Development Code.

Section 6-306 D Approval criteria for Development Plan Review:

1. The placement of building reinforces the street wall and maximizes natural surveillance and visibility of pedestrian areas (building entrances, pathways, parking areas, etc.), enhances the character of the surrounding area, facilitates pedestrian access and circulation and mitigates heat gain and retention.
2. Shade for energy conservation and comfort as an integral part of the design
3. Materials shall be of superior quality and compatible with the surroundings
4. Buildings and landscape elements have proper scale with the site and surroundings
5. Large building masses are divided into smaller components that create a human-scale as viewed from the sidewalk
6. The building has a distinct base and top, as identified by ground floor elements, roof forms, and detailing.
7. Building facades have architectural detail and contain windows at the ground level to create visual interest and to increase security of adjacent outdoor spaces by maximizing natural surveillance and visibility
8. Special treatment of doors, windows, doorways and walkways (proportionality, scale, materials, rhythm, etc.) contributing to and attractive public space
9. On-site utilities are placed underground
10. Clear and well lighted walkways connect building entrances to one another and to adjacent sidewalks
11. Lighting is compatible with the proposed building(s) and adjoining buildings and uses, and does not create negative effects

12. Accessibility is provided in conformance with the Americans with Disabilities Act (ADA).
13. Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses. Traffic impacts are minimized in conformance with the city transportation policies, plans and design criteria
14. Safe and orderly circulation separates pedestrian and bicycles from vehicular traffic.
15. Plans appropriately integrate crime prevention principles such as territoriality, natural surveillance, access control, activity support, and maintenance
16. Landscape accents and separates parking, buildings, driveways and pedestrian walkways

GEP08004, ZON08006 AND PAD08012

CONDITIONS OF APPROVAL:

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

1. The property owner(s) shall sign a waiver of rights and remedies pursuant to A.R.S. §12-1134 that may now or in the future exist, releasing the City from any potential claims under Arizona's Private Property Rights Protection Act, which shall be submitted to the Development Services Department no later than **November 17, 2008** or the General Plan Amendment, Zoning Map Amendment and Amended Planned Area Development Overlay approval shall be null and void.
2. A building permit shall be obtained on or before October 16, 2010 or the zoning of the property may revert to that in place at the time of application, subject to a public hearing.
3. The Planned Area Development Overlay shall be put into proper engineered format with appropriate signature blanks and kept on file with the City of Tempe's Development Services Department prior to issuance of building permits.
4. The PAD sets forth the proposed modified standards with a maximum allowable building height of 60'-0", minimum front yard building setback of 5'-0" and a maximum density of 35.4 dwelling units per acre of the site area. Any further reduction or increase in the standards shall require approval of an amended planned area development by the original decision-making body.
5. The maximum number of beds for this project shall not exceed six hundred forty (640), as identified on the plans.

DPR08161

CONDITIONS OF APPROVAL:

6. A Preliminary and Final Subdivision Plat is required for this development and shall be recorded prior to issuance of any building permits.

Site Plan

7. Provide an 8'-0" wide public sidewalk along arterial roadways, or as required by Traffic Engineering Design Criteria and Standard Details.
8. Provide a dedicated bus pad and new bus shelter, with easements if necessary.
9. Provide and/or replace existing wall with an 8'-0" wall or fence along the east, west and south property boundaries. Extend the 8' fence a minimum of 5'-0" in length beyond the gated entry fencing on either sides.
10. Where fencing is provided as part of the approved site plan, provide gates of steel vertical picket, steel mesh, steel panel or similar construction. Review gate hardware with Building Safety and Fire staff and design gates to resolve lock and emergency ingress/egress features that may be required.
11. Provide upgraded paving at each driveway apron consisting of unit paving. Extend unit paving in the driveway from the back of the accessible public sidewalk bypass to 20'-0" on site and from curb to curb at the drive edges.

12. A demarcated turn-around space, minimum 8'-6" clear in width, shall be provided on the east side of each driveway before entering gated entrances.
13. Identified calming devices along the perimeter driveway shall provide an alternate paving material surface which complements the project design.
14. Utility equipment boxes for this development shall be finished in a neutral color (subject to utility provider approval) that compliments the coloring of the buildings.
15. Place exterior, freestanding reduced pressure and double check backflow assemblies in pre-manufactured, pre-finished, lockable cages (one assembly per cage). If backflow prevention or similar device is for a 3" or greater water line, delete cage and provide a masonry or concrete screen wall following the requirements of Standard Detail T-214.

Floor Plans

16. Exit Security:
 - a. Provide visual surveillance by means of fire-rated glazing assemblies from stair towers into adjacent circulation spaces.
 - b. In instances where an elevator or stair exit in the building or garage is within 21'-0" of an alcove, corner or other potential hiding place, position a refracting mirror to allow someone in the exit doorway to observe in the mirror the area around the corner or within the alcove that is adjacent to the doorway.
17. Public Restroom Security
 - a. Lights in restrooms:
 - 1) Provide 50% night lights
 - 2) Activate by key or remote control mechanism
18. Garage Security:
 - a. Provide closed circuit television (CCTV) surveillance in all levels of the parking garage.
 - b. Minimize interior partitions or convert these to semi-opaque screens to inhibit hiding behind these features.
 - c. Provide exit stairs that are open to the exterior as indicated.
 - d. Paint interior wall and overhead surfaces in garage floor levels with a highly reflective white color, minimum light reflectance value of 75 percent.
 - e. Maximize openness at the elevator entrances and stair landings to facilitate visual surveillance from these pedestrian circulation areas to the adjacent parking level. Provide security vision panels at entrances.
19. Parking Garage:
 - a. Minimum required parking dimensions shall be clear of any obstructions.
 - b. At the ends of dead-end drive aisles, provide a designated turn-around space, minimum 8'-6" clear in width (locate on left side if available), including 3'-0" vehicular maneuvering area for exiting space. Turn-around space shall be clearly demarcated.
 - c. Provide a minimum 2'-0" of additional width for parking spaces when adjacent to a continuous wall, beyond the minimum required parking width of 8'-6".

Building Elevations

20. The materials and colors presented are approved as presented:
 - Sherwin Williams 7048 – Urbane Bronze
 - Sherwin Williams 2803 – Rockwood Terra Cotta
 - Sherwin Williams 0012 – Empire Gold
 - Sherwin Williams 7032 – Warm Stone
 - Sherwin Williams 6199 – Antique White
 - Metal wall panel, Spectra – Royal Brown

Provide main colors and materials with a light reflectance value of 75 percent or less. Specific colors and materials exhibited on the materials sample board are approved by planning staff. Submit any additions or modifications for review during building plan check process. Planning inspection staff will field verify colors and materials during the construction phase.

21. Any substantial changes to the elevations of the parking garage as a result of compliance with applicable building codes shall be subject to review by the original decision-making body.
22. Provide additional balconies, as shown on plans, on all four exterior building elevations, subject to planning staff review.
23. Wire mesh railings for balconies and wrought iron fencing proposed for the project shall be stained/painted "Urbane Bronze".
24. All interior perimeter masonry walls shall match proposed paint color, Sherwin Williams 7032 – Warm Stone or a similar color approved by staff.
25. Provide secure roof access from the interior of the building. Do not expose roof access to public view.
26. Conceal roof drainage system within the interior of the building or locate at the interior sides of the building courtyard elevations. Minimize external features and design these to enhance the architecture of the building.
27. All HVAC units shall be located on the roof and shall be fully concealed from view on all horizontal sides.
28. Incorporate lighting, address signs, incidental equipment attachments (alarm klaxons, security cameras, etc.) where exposed into the design of the building elevations.
29. Locate the electrical service entrance section (S.E.S.) inside the building or inside a secure yard that is concealed from public view.
30. Do not expose conduit, piping, and other similar materials.

Lighting

31. Illuminate building entrances at carriage ways, garage entries, interior hallways and underside of open stair landings from dusk to dawn to assist with visual surveillance at these locations.
32. Lighting for parking at the east and west perimeters shall allow deviation to the twenty feet tree-to-lighting separation, in order to accommodate perimeter landscape and shade. Minimum parking lighting levels shall be maintained regardless of tree island placement, while locating light poles between perspective islands. Place lighting in line with parking striping to avoid vehicle conflict. Further review required by staff subject to any modifications to the proposed landscape plan.

Landscape

33. Provide a landscape design pattern at the street front that provides the following elements: **(MODIFIED BY THE COMMISSION)**
 - a. Provide a minimum ~~8'-0"~~ 4'-0" landscape buffer at the street curb with ~~trees and shrubs~~ complying with the minimum two (2) foot list, except at ~~transitioning~~ transit pad location and driveways.
 - b. Provide a minimum ~~8'-0" concrete~~ 6'-0" sidewalk ~~per Tempe standard details~~, which shall be clear of any obstructions including proposed bus shelter.
 - c. Provide a landscape area with ~~complementary trees and shrubs on the south side of 8'-0" sidewalk~~, which maximizes the potential shade along the walkway, ~~except where pathways to live/work units occur~~. Provide tree islands located intermittently as shown on plans, with planting area a minimum 4'-0" in width and varying in length, ensuring adequate growth. Plans shall include street benches as shown on plans.
 - d. ~~Do not place decorative paving materials within public right-of-way~~ may be approved, subject to the property owner's signing of a "walkway maintenance agreement" with the City of Tempe.
 - e. Locate any sidewalk lighting and fire hydrants within the landscape areas and not on the sidewalk.
34. ~~Place bus shelter at the backside of the 8'-0" pathway (public sidewalk). Transit shelter may shift easterly, just before building stairwell entrance. Acceptable to allow the public sidewalk to slightly meander around the shelter, while still accommodating an 8' clear path and minimum 4' transit loading pad at street curb (8' maximum). At the point of the landing pad, transition back to the full 8' landscape buffer. (MODIFIED BY THE COMMISSION)~~

35. East and west perimeter property trees located within non-required landscape islands (islands less than 15 consecutive spaces) shall provide a minimum landscape island width of 5'-0" with minimum one (1) shade tree and three (3) shrubs. A minimum of ten (10) trees shall be provided within and adjacent to each east and west perimeter parking rows to provide shade for spaces.
36. The proposed dry well system shall not be located under any landscape islands providing trees, in order to allow for adequate root growth. Divert retention connections around landscape islands.
37. The plant palate is approved as proposed and specified on the landscape plan. Any additions or modifications may be submitted for review during building plan check process.
38. Irrigation notes:
 - a. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use of schedule 40 PVC mainline and class 315 PVC ½" feeder line is acceptable. Class 200 PVC feeder line may be used for sizes greater than ½" (if any). Provide details of water distribution system.
 - b. Locate valve controller in a vandal resistant housing.
 - c. Hardwire power source to controller (a receptacle connection is not allowed).
 - d. Controller valve wire conduit may be exposed if the controller remains in the mechanical yard.
39. Include requirement in site landscape plan to de-compact soil in planting areas on site and in public right of way and remove construction debris from planting areas prior to landscape installation.
40. Top dress planting areas with a rock or decomposed granite application. Provide rock or decomposed granite of 2" uniform thickness or less. Provide pre-emergence weed control application and do not underlay rock or decomposed granite application with plastic.

Signage

41. Provide address numbers on all building elevations, including at the east and west elevations closest to the street, and on the south elevation above the parking garage entrance.
 - a. Conform to the following for building address signs:
 - 1) Provide street number only, not the street name
 - 2) Compose of 12" high, individual mount, metal reverse pan channel characters.
 - 3) Self-illuminated or dedicated light source.
 - 4) Coordinate address signs with trees, vines, or other landscaping, to avoid any potential visual obstruction.
 - 5) Do not affix number or letter to elevation that might be mistaken for the address.
 - b. Utility meters shall utilize a minimum 1" number height in accordance with the applicable electrical code and utility company standards.

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

- Your drawings must be submitted to the Development Services Building Safety Division for building permit by September 9, 2009 or the Development Plan approval will expire.
- Specific requirements of the Zoning and Development Code are not listed as a condition of approval, but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, it is necessary that the applicant be familiar with the Zoning and Development Code (ZDC), which can be accessed through www.tempe.gov/zoning or purchased at Development Services.
- **SITE PLAN REVIEW:** Verify all comments by the Public Works Department, Development Services Department, and Fire Department given on the Preliminary Site Plan Reviews. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Department will be reviewed by planning staff to ensure consistency with this Design Review approval prior to issuance of building permits.
- **EASEMENTS:** Provide a dedicated public easement for proposed bus shelter pad that encroaches on portion of the property. Contact the Public Works, Engineering Division for finalizing dedication and/or provide on the subdivision plat.
- **WATERLINE:** A waterline loop has been requested by the Tempe Water Utilities Department. Coordinate and verify acceptance of all underground utilities including sewer lines and underground retention system before proceeding with building permit submittal. Contact Tom Ankeny (480-350-2648) for further discussion.
- **STANDARD DETAILS:**
 - Tempe Standard "T" details may be accessed through www.tempe.gov/engineering or purchased from the Engineering Division, Public Works Department.
 - Tempe Standard "DS" details for refuse enclosures may be accessed through www.tempe.gov or may be obtained at Development Services.
- **BUILDING HEIGHT:** Measure height of buildings from the midpoint top of curb along front of property (as defined by Zoning and Development Code).
- **WATER CONSERVATION:** Under an agreement between the City of Tempe and the State of Arizona, Water Conservation Reports are required for landscape and domestic water use for this project. Have the landscape architect and the mechanical engineer prepare reports and submit them with the construction drawings during the building plan check process. Report example is contained in Office Procedure Directive # 59, available from Building Safety (480-350-8341). Contact Pete Smith of Water Resources (480-350-2668) if there are any questions regarding the purpose or content of the water conservation reports.
- **HISTORIC PRESERVATION:** State and federal laws apply to the discovery of features or artifacts during site excavation (typically, the discovery of human or associated funerary remains). Where such a discovery is made, contact the Arizona State Historical Museum (520-621-6302) for removal and repatriation of the items. Contact the Tempe Historic Preservation Officer (Joe Nucci 480-350-8870) if questions regarding the process described in this condition.
- **SECURITY REQUIREMENTS:**
 - Provide closed circuit television in the parking garage, as requested by the Tempe Police Department.
 - In conjunction with a security plan, Crime Free Multi-Housing status for this property may be required.
 - A security vision panel shall be provided at service and exit doors (except to rarely accessed equipment rooms) with a 3" wide high strength plastic or laminated glass window, located between 43" and 66" from the bottom edge of the door.
 - Avoid upper/lower divided glazing panels in exterior windows at grade level, particularly where lower (reachable) glass panes of a divided pane glass curtain-wall system can be reached and broken for unauthorized entry. Do not propose landscaping or screen walls that conceal area around lower windows. If this mullion pattern is desired for aesthetic concerns, laminated

glazing may be considered at these locations.

- Provide emergency radio amplification for the building and parking garage, as required. Amplification will allow Police and Fire personnel to communicate in the buildings during a catastrophe. Refer to this link (http://www.tempe.gov/itd/Signal_booster.htm) and if needed contact ITD / Communications (Dave Heck 480-350-8777) to discuss the size and materials of the buildings, to verify radio amplification requirement, and determine the extent of construction to fulfill this requirement.
 - FIRE: (Jim Walker 480-350-8341)
 - Fire lanes need to be clearly defined. Ensure that there is at least a 20'-0" horizontal width, and a 14'-0" vertical clearance from the fire lane surface to the underside of tree canopies; or overhead structure, if allowed by Fire Department. Details of fire lane(s) are subject to approval of the Fire Department.
 - ENGINEERING AND LAND SERVICES:
 - Underground all overhead utilities located on site. Underground utilities requirement excludes high-voltage transmission line unless project inserts a structure under the transmission line. Coordinate site layout with Utility provider(s) to provide adequate access easement(s).
 - Clearly indicate property lines, the dimensional relation of the buildings to the property lines and the separation of the buildings from each other.
 - Verify location of any easements, or property restrictions, to ensure no conflict exists with the site layout or foundation design.
 - 100 year onsite retention required for this property, coordinate design with requirements of the Engineering Department.
 - REFUSE:
 - Double container enclosure indicated on site plan is exclusively for refuse. Construct walls, pad and bollards in conformance with Standard Detail DS-116.
 - Contact Sanitation staff (Ron Lopinski 480-350-8132) to verify that vehicle maneuvering and access to the enclosure is adequate.
 - Develop strategy for recycling collection and pick-up from site with Ron Lopinski. Coordinate storage area for recycling containers with overall site and landscape layout.
 - Gates for refuse enclosure(s) are not required, unless facing a public street. If gates are provided, the property manager must arrange for gates to be open on collection days.
 - DRIVEWAYS:
 - Construct driveways in public right of way in conformance with Standard Detail T-320. Alternatively, the installation of driveways with return type curbs as indicated, similar to Standard Detail T-319, requires permission of Public Works/Traffic
 - Correctly indicate clear vision triangles at both driveways on the site and landscape plans. Identify speed limits for adjacent streets at the site frontages. Begin sight triangle in driveways at point 15'-0" in back of face of curb. Consult "Corner Sight Distance" leaflet, available from Development Services Counter. Do not locate site furnishings, screen walls or other visual obstructions over 2'-0" tall (except canopy trees are allowed) within each clear vision triangle.
 - PARKING SPACES:
 - Provide screen walls for parking spaces visible from street view. Provide a minimum wall height of 3'-0" measured from parking space grade. Located screen wall at least 7'-0" from end of parking row to provide area for required tree and shrubs per ZDC.
 - Verify conformance of accessible vehicle parking to the Americans with Disabilities Act of 1990 (42 U.S.C.A. §12101 ET SEQ.) and the Code of Federal Regulations Implementing the Act (28 C.F.R., Part 36, Appendix A, Sections 4.1 and 4.6). Refer to Standard Detail T-360 for parking layout and accessible parking signs.
 - At parking areas, provide demarcated accessible aisle for disabled parking.
 - Distribute bike parking areas nearest to main entrance(s). Provide parking loop/rack per standard detail T-578 or an alternate approved design. Provide 2'-0" by 6'-0" bicycle parking spaces. One loop may be used to separate two bike parking spaces. Provide clearance between bike spaces and adjacent walkway to allow bike maneuvering in and out of space without interfering with pedestrians, landscape materials or vehicles nearby.
 - LIGHTING:
-

- Follow the guidelines listed under appendix E “Photometric Plan” of the Zoning and Development Code.
- Indicate the location of all exterior light fixtures on the site, landscape (and photometric) plans. Avoid conflicts with lights in order to maintain illumination levels for exterior lighting, except at parking perimeter.
- LANDSCAPE: Provide a detailed plant shrub list provided on the landscape plan.
- SIGNS: Obtain sign permit for any identification signs as well as for internally (halo) illuminated address signs. Directional signs (if proposed) may not require a sign permit, depending on size. Directional signs are subject to review by planning staff during plan check process. Separate Development Plan Review process is required for signs ZDC Part 4 Chapter 9 (Signs).

PROJECT DATA:

Previously Approved Element @ ASU (April, 2008)

Gross/Net site area	6.35 acres
Total Building area	107,802 s.f.
Dwelling units	158 units, 435 bedrooms
Density	24.6 du/ac (25 du/ac max.)
Lot Coverage	39 % (60% max.)
Building Height	42 ft (Per PAD 46 ft max. allowed)
Building setbacks	25' north, 89' west, 58' east, 45' south (Per PAD 20' north, 10' west, 9' east, 10' south min.)
Landscape area	39% (25% min. required)
Vehicle Parking	459 spaces (406 min. required)
Bicycle Parking	188 spaces (168 min. required)
Gross/Net site area	6.35 acres

PROPOSED Element @ ASU (September, 2008)

Gross/Net site area	6.35 acres
Residential Building area	93,487 s.f. (38,274 s.f. garage)
Dwelling units	225 units, 640 beds (includes 10 live/work units)
Density	35.4 du/ac (Per PAD 25 du/ac max.)
Lot Coverage	48% (60% max.)
Building Height	60 ft (Per PAD 46 ft max. allowed)
Building setbacks	5' north, 10' west, 9' east, 10' south (Per PAD 20' north, 10' west, 9' east, 10' south min.)
Landscape area	32% (25% min. required)
Vehicle Parking	707 spaces (585 min. required)
Bicycle Parking	246 spaces (246 min. required)

HISTORY & FACTS:

August 17, 1972	Ordinance No. 689 area annexed into the City of Tempe. Area designated as AG, Agricultural District.
September 5, 1972	Commercial concrete building constructed.
February 22, 1973	City Council adopted Ordinance No. 405.261, which rezoned 1.07 acres from AG, Agricultural District to .69 acres of R-3, Multi-Family Residential Limited and .38 acres of C-1, Neighborhood Commercial District.
February 4, 1981	Design Review Board approved building elevations, site and landscape plans for Primero Heights Apartments, consisting of 11 units two stories in height at 1955 E. University Drive, in the R-3 District. (Development never constructed)
November 28, 2006	Development Review Commission recommended approval of a Zoning Map Amendment for PERRY PLACE CONDOMINIUMS from R/O, R-3 and CSS Districts to R-4 District, located at 1949 East University Drive.
January 4, 2007	City Council approved the request for a Zoning Map Amendment for PERRY PLACE CONDOMINIUMS from R/O, R-3 and CSS Districts to R-4 District, located at 1949 East University Drive.
February 13, 2007	Development Review Commission approved the request for a Development Plan and recommended approval for a Planned Area Development Overlay for PERRY PLACE CONDOMINIUMS, consisting of 156 new condominium units, located at 1949 East University Drive.
March 15, 2007	City Council approved the request for a Planned Area Development Overlay for PERRY PLACE CONDOMINIUMS located at 1949 East University Drive.
April 8, 2008	Development Review Commission approved the request for a Development Plan Review for THE ELEMENT @ ASU (PL080041) (William Bannister, AGI Investors, property owner; Angie Rawie, JLB Partners, applicant) consisting of a new 158 unit student housing development, including a three-story building with parking garage, within approximately 107,800 sf. of building area on 6.35 net acres, located at 1949 East University Drive.
June 30, 2008	Applicants for The Element @ ASU held a required neighborhood meeting at 6 pm at the Escalante Community Center, 2150 East Orange Street. Only one member from the public attended the meeting for the purpose of a class assignment.

ZONING AND DEVELOPMENT CODE REFERENCE:

- Section 6-302, General Plan Amendment
- Section 6-304, Zoning Map Amendment
- Section 6-305, Planned Area Development (PAD) Overlay districts
- Section 6-306, Development Plan Review

RESOLUTION 2008.80

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF TEMPE, ARIZONA, AMENDING THE GENERAL PLAN 2030 PROJECTED LAND USE MAP FROM RESIDENTIAL TO MIXED USE AND THE PROJECTED DENSITY MAP FROM MEDIUM TO HIGH DENSITY (UP TO 25 DWELLING UNITS PER ACRE) TO HIGH DENSITY (GREATER THAN 25 DWELLING UNITS PER ACRE) FOR APPROXIMATELY 6.35 ACRES LOCATED AT 1949 EAST UNIVERSITY DRIVE.

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF TEMPE, that the General Plan 2030 Projected Land Use Map and Projected Residential Density Map are hereby amended for approximately 6.35 acres from Residential, Medium to High Density (up to 25 units per acre) to Mixed Use, High Density (greater than 25 units per acre), located at 1949 East University Drive.

PASSED AND ADOPTED BY THE CITY COUNCIL OF THE CITY OF TEMPE, ARIZONA, this _____ day of _____ 2008.

Mayor

ATTEST:

CITY CLERK

APPROVED AS TO FORM:

CITY ATTORNEY

ORDINANCE NO. 2008.46

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF TEMPE, ARIZONA, AMENDING THE CITY OF TEMPE ZONING MAP, PURSUANT TO THE PROVISIONS OF ZONING AND DEVELOPMENT CODE PART 2, CHAPTER 1, SECTION 2-106 AND 2-107, RELATING TO THE LOCATION AND BOUNDARIES OF DISTRICTS.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF TEMPE, ARIZONA, as follows:

Section 1. That the City of Tempe Zoning Map is hereby amended, pursuant to the provisions of Zoning and Development Code, Part 2, Chapter 1, Section 2-106 and 2-107, by removing the below described property from the R-4, Multi-Family Residential General District and designating it as MU-4, Mixed-Use High Density District with a Planned Area Development Overlay on 6.35 acres.

LEGAL DESCRIPTION

(Insert legal description here)

TOTAL AREA IS 6.35 GROSS ACRES.

Section 2. Further, those conditions of approval imposed by the City Council as part of Case ZON08006 are hereby expressly incorporated into and adopted as part of this ordinance by this reference.

Section 3. Pursuant to City Charter, Section 2.12, ordinances are effective thirty (30) days after adoption.

PASSED AND ADOPTED BY THE CITY COUNCIL OF THE CITY OF TEMPE, ARIZONA, this _____ day of _____, 2008.

Mayor

ATTEST:

City Clerk

APPROVED AS TO FORM:

City Attorney

WHEN RECORDED RETURN TO:

City of Tempe
Development Services Department
31 E. 5th Street
Tempe, AZ. 85281

**WAIVER OF RIGHTS AND REMEDIES
UNDER A.R.S. §12-1134**

This Waiver of Rights and Remedies under A.R.S. § 12-1134 (Waiver) is made in favor of the City of Tempe (City) by **JLB Tempe LLC** (Owner/s).

Owner acknowledges that A.R.S. § 12-1134 provides that in some cases a city must pay just compensation to a land owner if the city approves a land use law that reduces the fair market value of the owner's property (Private Property Rights Protection Act).

Owner further acknowledges that the Private Property Rights Protection Act authorizes a private property owner to enter an agreement waiving any claim for diminution in value of the property in connection with any action requested by the property owner.

Owner has submitted Application No. **PL080041** to the City requesting that the City approve the following:

- GENERAL PLAN AMENDMENT
- ZONING MAP AMENDMENT
- PAD OVERLAY
- HISTORIC PRESERVATION DESIGNATION/OVERLAY
- USE PERMIT
- VARIANCE
- DEVELOPMENT PLAN REVIEW
- SUBDIVISION PLAT/CONDOMINIUM PLAT
- OTHER _____

(Identify Action Requested))

for development of the following real property (Property):

Parcel No. : _____

(Legal Description and Address)

By signing below, Owner voluntarily waives any right to claim compensation for diminution in Property value under A.R.S. §12-1134 that may now or in the future exist if the City approves the above-referenced Application, including any conditions, stipulations and/or modifications imposed as a condition of approval.

This Waiver shall run with the land and shall be binding upon all present and future owners having any interest in the Property.

This Waiver shall be recorded with the Maricopa County Recorder's Office.

Owner warrants and represents that Owner is the fee title owner of the Property, and that no other person has an ownership interest in the Property.

Dated this _____ day of _____, 2008.

(Signature of Owner)

(Printed Name)

(Signature of Owner)

(Printed Name)

State of Arizona)
) ss
County of _____)

SUBSCRIBED AND SWORN to before me this _____ day of _____, 2008, by

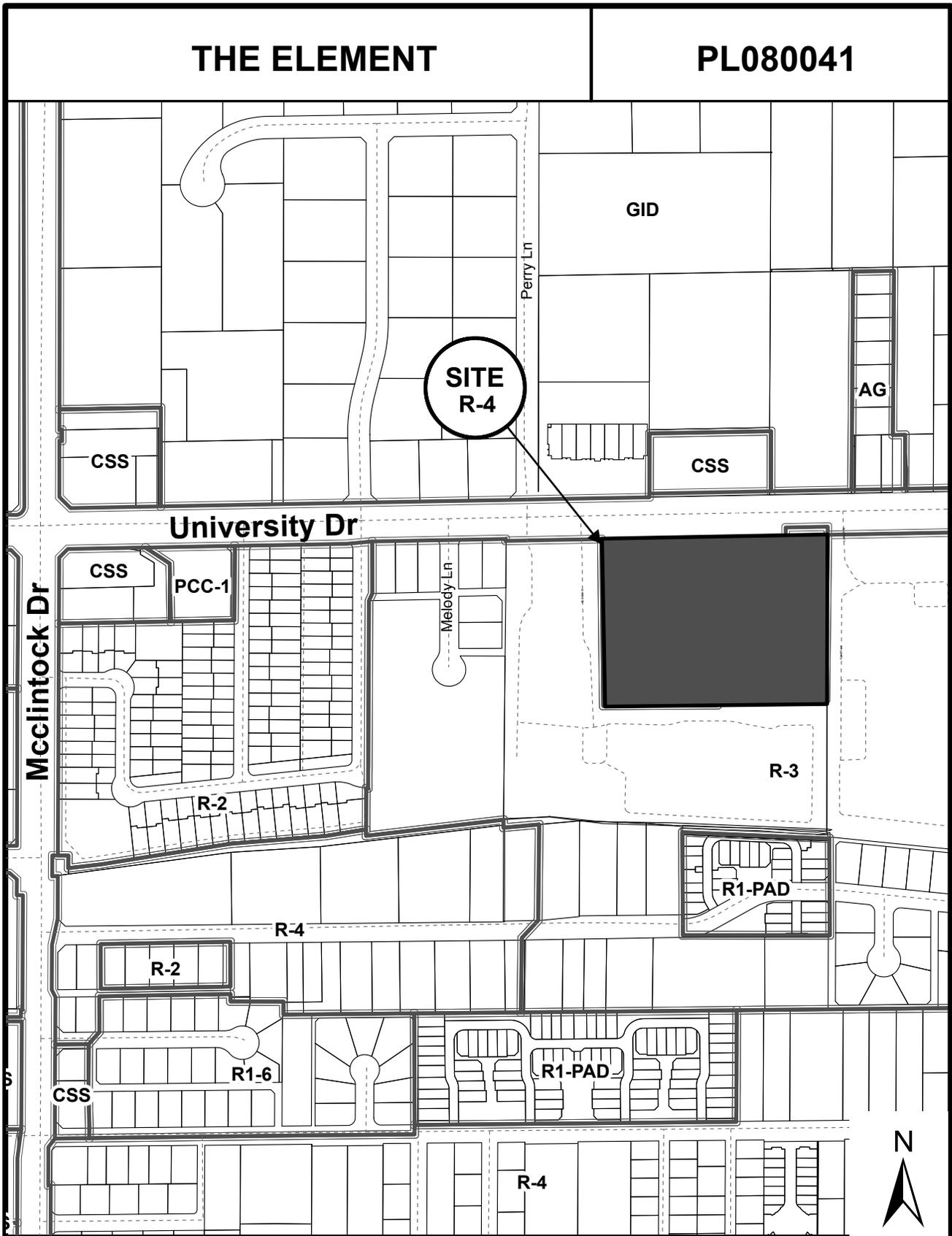
_____.

(Signature of Notary)

(Notary Stamp)

THE ELEMENT

PL080041



Location Map



THE ELEMENT @ ASU

(PL080041)



July 21, 2008

City of Tempe
31 East Fifth Street
Tempe, Arizona 85280

RE: Letter of Explanation

JLB Partners is pleased to submit this application to modify a previously approved Planned Area Development Overlay for your consideration. The proposed project provides high quality housing located on an in-fill site where residents can easily walk, bike or access public transportation to get to campus or downtown.

JLB held a neighborhood meeting in June. Additionally, we met with members of the adjacent homeowners' association board and gained the Board's support for our revised development plan.

Site

The Site is located on the south side of University Drive approximately 500 feet west of Smith Drive. The site is a former mobile home community that has been cleared to make way for redevelopment. The site is surrounded by existing multi-story multifamily housing. The site is currently zoned R-4, Multi-Family General Residential District and Planned Area Development (PAD) Overlay District. Earlier this year we sought and received approval from the Development Review Commission to build a project with 156 residential units. The plan was similar in design to what is now proposed but the currently approved plan allows the southern end of the project to expose a multi-story parking garage facing the adjacent condominium project. We seek to modify and further improve the site plan to provide 224 residential units (including both more traditional apartment-style units and exciting Live/Work units that will bring a presence to University Drive), increase the usable open space and site amenities, increase the number and quality of parking spaces, provide direct public transit connections and, perhaps most importantly, fully conceal the previously approved but exposed parking structure.

General Plan Amendment and MU-4 Zoning Request

JLB Partners is seeking an amendment to the General Plan to increase the density and to amend the zoning to MU-4 to allow for the live/work units. In March 2007 the City of Tempe approved the request by AGI Investors, LLC for a Planned Area Development Overlay for the development of 156 new condominium units on the site in the R-4, Multifamily Residential General District (PAD 06011). In April 2008, the City of Tempe approved our previous request to provide 154 units of multifamily housing on this site.



The proposed development complies with the land use goals and element objectives for the General Plan 2030. The newly proposed site plan maintains the "Residential" land use (and infuses the live/work units) but proposed to increase the Projected Density to fewer than 35 dwelling units per acre. The increased density is consistent with the existing multi-family development in the area.

JLB Partners is requesting a modification to the existing Planned Area Development Overlay to address design criteria required to provide a higher quality development. The development approved in April 2008 included a single three-story apartment building with a three-story parking structure exposed on the southwest corner of the property. This revised proposal takes great effort to conceal the garage and provide for live/work units along University Drive that will bring the building into the urban fabric of University Drive.

The proposed plan is characterized by an urban infill design which engages the streetscape along University Drive and promotes a sense of community. The footprint of the building is built up to the setback along University Drive and the pedestrian minded intent of the project is emphasized by the proposed sidewalk and landscaping which will be extended the length of the site and by the bus shelter which will be built on the west side of the site to help facilitate the use of public transit by ASU students to campus.

Proposed Project

The proposed project is located at University Drive just west of Smith Drive in Tempe, approximately one mile east of the Arizona State University campus. The new development is designed to provide 214 apartment-style units and 10 live/work units along University Drive, contained in a four-story building that provides residents with two interior courtyards filled with landscape and common-area amenities including a resort-style swimming pool, lighted sand volleyball court and outdoor cabana. Ample on-site parking is provided for each resident by both surface parking and an attached parking garage, which is completely wrapped with the residential units. We are particularly proud of the proposed live/work units proposed for University Drive. We believe that this type of unit will be an asset to the feel and function of University Drive.

The design of the new community is contemporary. The style is consistent with the approved project. The massing of the structure firmly holds the street edges and serves to define the public realm both at the street and for the interior courtyards. The landscape concept is made up of a variety of trees, shrubs and groundcovers spaced around the site to create a colorful and pleasing design. The plantings have been placed around the site in such a fashion to help as follows: to denote the main site entries, to screen the four-story buildings from off-site views, to provide some solar protection for the buildings and to provide a safe environment for all residents and guests.

The streetscape will provide a variety of landscaping materials to create a pleasant environment for pedestrians and also add an additional layer of screening. The overall effect is a project that will be inviting and urban in scale

Due to the development's proximity approximately one mile from the ASU campus, residents will be encouraged to bicycle, walk and take public transit to classes at ASU. A bus shuttle will be added near the western boundary of the property to encourage students to take the bus rather than drive to the ASU campus. Additionally, the Mercury Orbit Bus will travel within a block of the site providing students with frequent and free travel to ASU and the Mill Avenue District. Racks for parking 248 bicycles will be provided on-site, many of them under cover. Besides limited visitor vehicular parking to access the community center and leasing activities, security gates will provide controlled vehicular and pedestrian access.

Despite our efforts to reduce driving, we realize that many of our residents will have vehicles. The demand for parking for residents at a ratio of one parking space per bedroom required a unique design solution to the multi-level parking garage. By wrapping the parking garage with units on all four sides of the parking structure, the structure is completely screened visually from neighboring properties. In addition, surface parking and a twenty three (23') foot drive aisle, sidewalk and finally another additional landscape buffer separates the structure from abutting property owners.

The proposed units are designed to provide a comfortable living/ learning environment for the residents. The unit mix will consist of live/work units, studios, two bedroom, three bedroom and four bedroom units with each bedroom having a private bathroom.

The proposed project will feature a clubhouse and social area, state-of-the-art fitness center, computer room, and leasing office for efficient community operation. The social area will be furnished in a comfortable fashion and include a small service kitchen. The clubhouse lounge room will have game tables, wide screen TV and a coffee bar, tastefully decorated to welcome residents into their new community. The back of the clubhouse will overlook the resort-style swimming pool. Water volleyball and water basketball will be enjoyed year round. Barbeque grills, open-air cabana with fire pit seating area, a gas-powered fire pit and picnic areas are also provided.

JLB Partners believes the modifications requested significantly improve the approved project and we seek support from the Development Review Commission and City Council.

Thank you for your consideration.

Sincerely,



Angie Rawie

General Plan Assessment for 1949 E. University Drive

The request to amend the density projection of General Plan for 1949 East University Drive is consistent "with the City's goals and objectives of the General Plan Elements" as follows:

We are proposing to amend the Land Use Element and Projected Density. **The request for modification of the General Plan in this case is to change the density of the projected Residential Use from Medium to High Density and to allow for a Mixed-Use designation to allow for live/work units.** It is important to note that the existing surrounding uses to this site are multi-family uses.

We do not seek to modify the **Accessibility Element** goals or objectives of the General Plan.

We do not seek to modify the **Community Design** goals or objectives of the General Plan.

We do not seek to modify the **Historic Preservation** goals or objectives of the General Plan.

We do not seek to modify the **Housing** goals or objectives of the General Plan. In fact, we meet the goals by increasing the diversity of housing near the campus and by creating a live/work rental unit not currently available in Tempe.

We do not seek to modify the **Neighborhoods** goals or objectives of the General Plan. In fact, we support the goals of the General Plan and encourage students to move out of single family neighborhoods and into housing designed for students.

We do not seek to modify the **Economic Development** goals or objectives of the General Plan. In fact, our new rental live/work units provide for a greater diversity of business in Tempe.

The property is a former mobile home community and is surrounded by multi-family residential land uses. A redevelopment to a higher standard of land use would further the **Conservation** goals and objectives of the General Plan.

We do not seek to modify the **Water Use** goals or objectives of the General Plan.

We do not seek to modify the **Transportation** goals or objectives of the General Plan. The site has a bus stop located near the main entrance of the park and the site is within approximately two miles of a number of freeway points of access. Additionally, the site is located within walking distance of the Orbit and Valley Metro Light Rail.

We do not seek to modify the **Pedestrian Network** goals or objectives of the General Plan.

We do not seek to modify the **Transit** goals or objectives of the General Plan. In fact, we support the goals by providing a bus stop near the entrance of the park.

We do not seek to modify the **Travel Way** goals or objectives of the General Plan.

We do not seek to modify the **Motorist** goals or objectives of the General Plan.

JUL 23 2008

The **Aviation** element and goals do not apply to the specific request.

The proposed request does not negatively impact the current or proposed **Open Spaces** within the City of Tempe.

We do not seek to modify the **Recreational Amenities** goals or objectives of the General Plan.

We do not seek to modify the **Public Art and Cultural Amenities** goals or objectives of the General Plan.

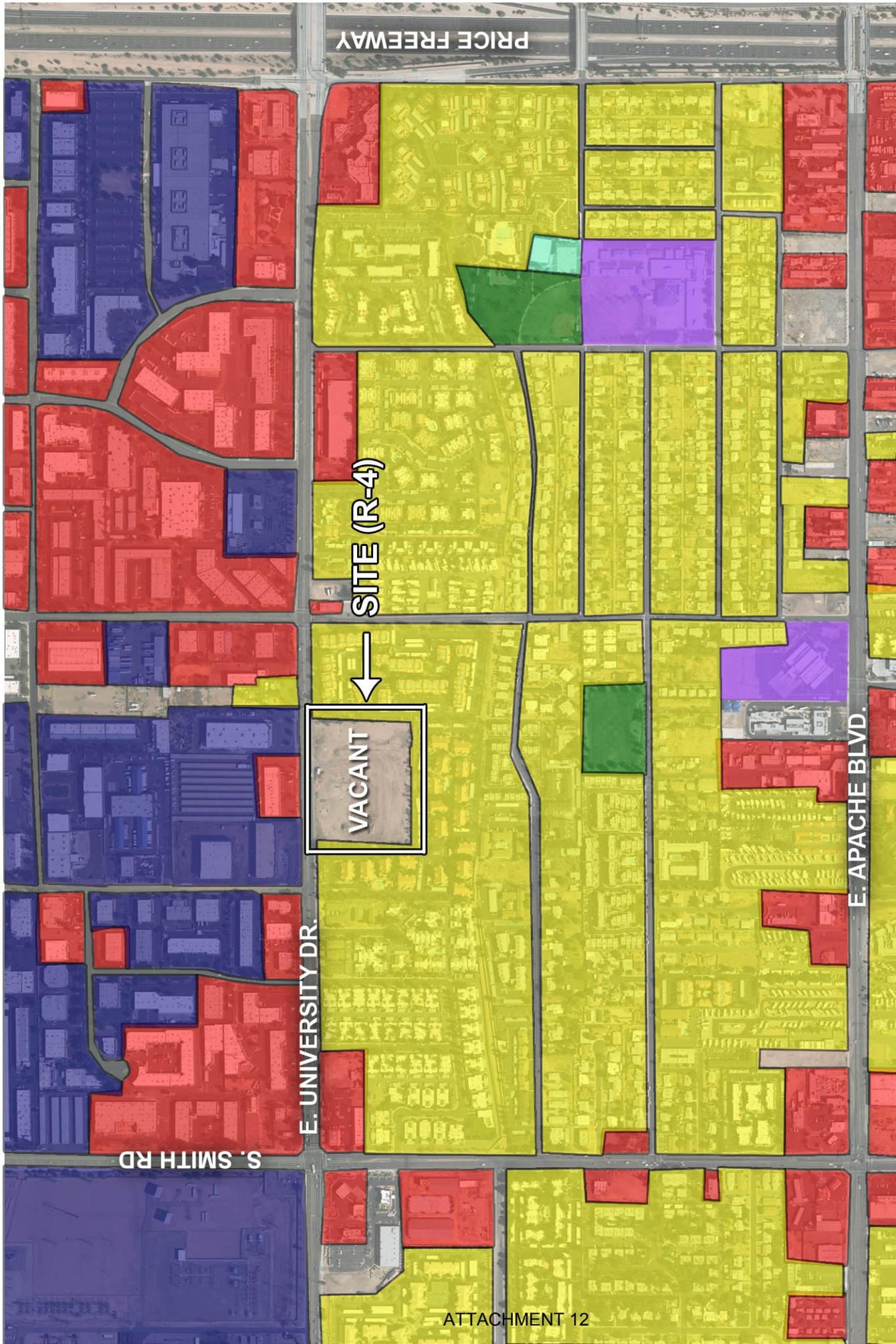
We do not seek to modify the **Public Facilities and Services** goals or objectives of the General Plan.

We do not seek to modify the **Public Buildings** goals or objectives of the General Plan.

The site will bring updated **Public Services** to the property.

We do not seek to modify the **Human Services** goals or objectives of the General Plan.

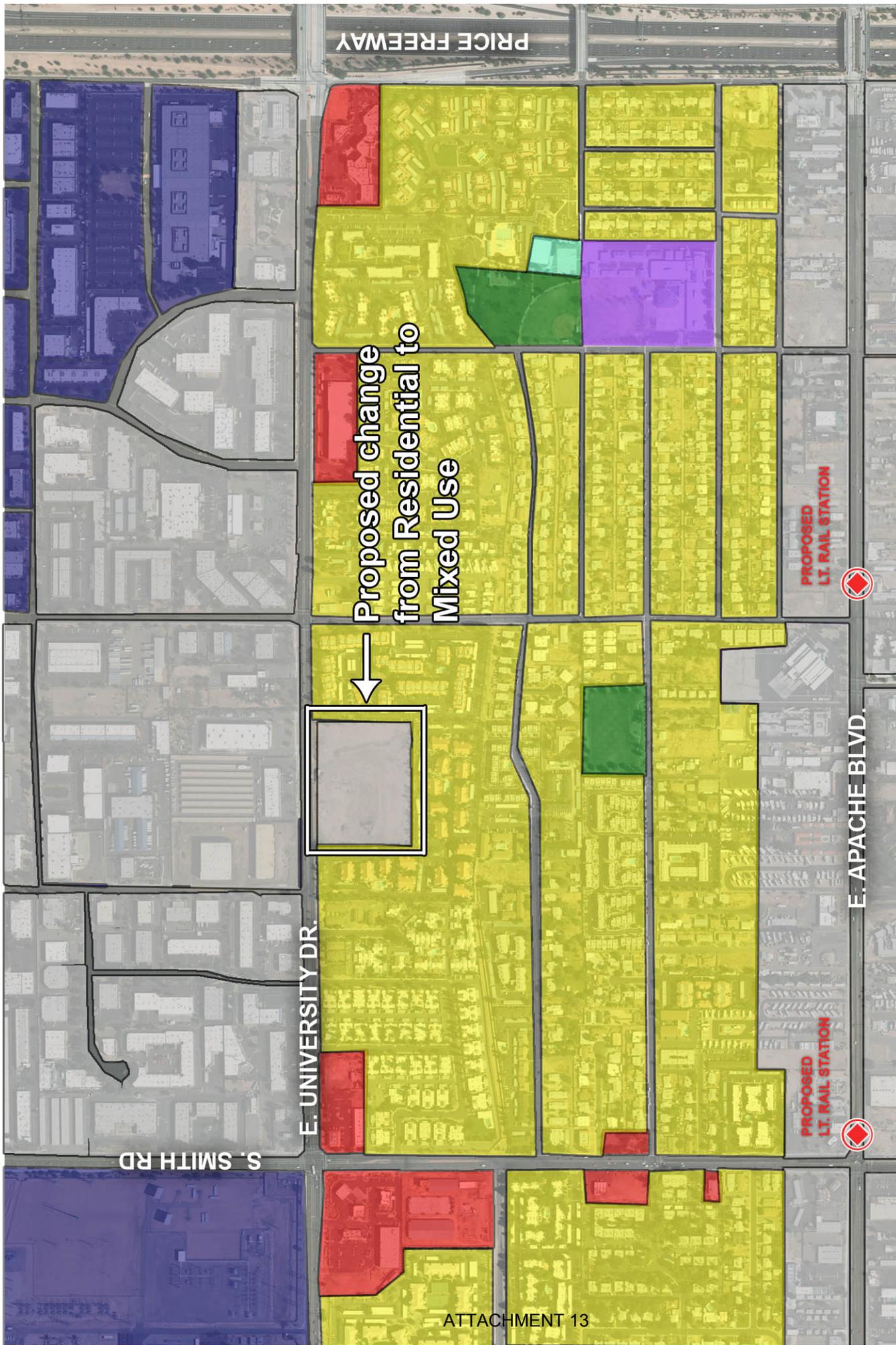
We do not seek to modify the **Public Safety** goals or objectives of the General Plan.



- RESIDENTIAL
- COMMERCIAL
- INDUSTRIAL
- EDUCATIONAL
- MIXED USE
- PUBLIC OPEN SPACE

EXISTING LAND USE
 1949 E. UNIVERSITY DR - JLB PARTNERS
 PROJECT/ CASE # 08007
 SECTION 24 N ZONING: EXISTING R-4

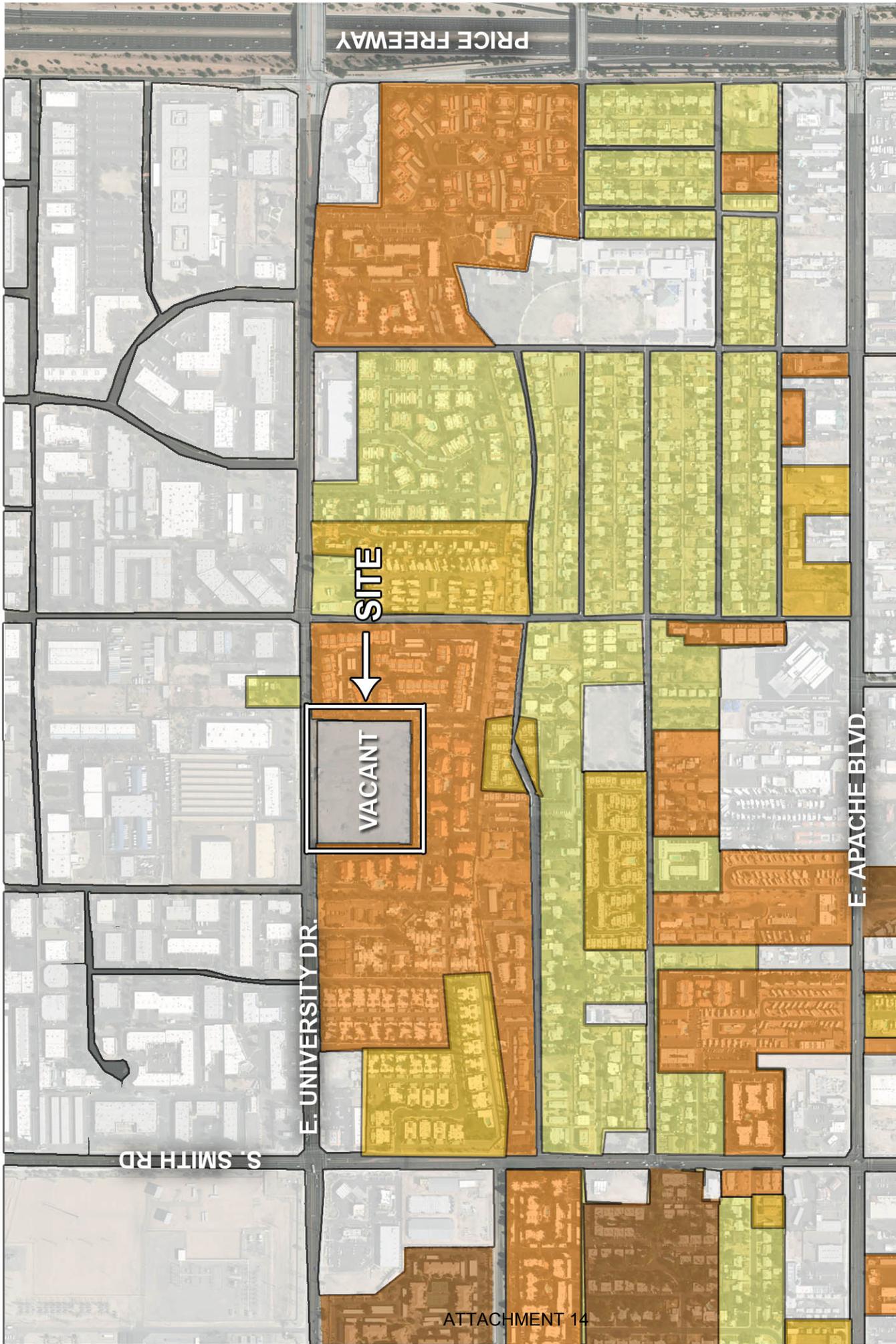




- RESIDENTIAL
- COMMERCIAL
- INDUSTRIAL
- EDUCATIONAL
- MIXED USE
- PUBLIC OPEN SPACE

PROJECTED LAND USE
 1949 E. UNIVERSITY DR - JLB PARTNERS
 PROJECT/ CASE # 08007
 SECTION 24 N ZONING: PROPOSED MU-4





MEDIUM TO HIGH DENSITY
(16 to 25 du/ac)

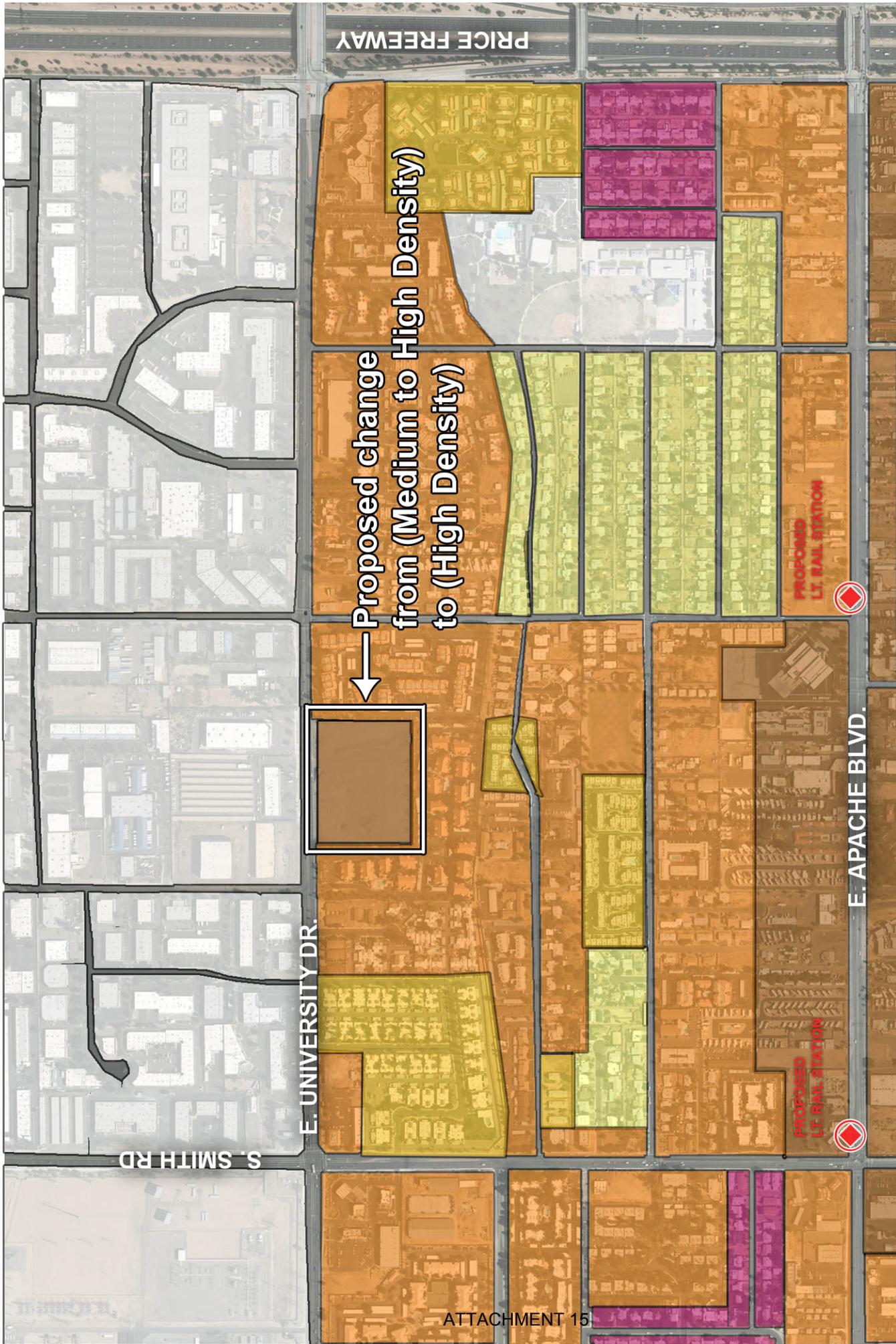
HIGH DENSITY
(> than 25 du/ac)

LOW TO MODERATE DENSITY
(4 to 9 du/ac)

MEDIUM DENSITY
(10 to 15 du/ac)

EXISTING DENSITY
 1949 E. UNIVERSITY DR - JLB PARTNERS
 PROJECT/ CASE # 08007
 SECTION 24 N DENSITY: VACANT





PRICE FREEWAY

S. SMITH RD

E. UNIVERSITY DR.

E. APACHE BLVD.

Proposed change
from (Medium to High Density)
to (High Density)

PROPOSED
LT. RAIL STATION

PROPOSED
LT. RAIL STATION

MEDIUM TO
HIGH DENSITY
(16 to 25 du/ac)

LOW TO
MODERATE DENSITY
(4 to 9 du/ac)

MEDIUM DENSITY
(10 to 15 du/ac)

HIGH DENSITY
(> than 25 du/ac)

PROJECTED DENSITY
1949 E. UNIVERSITY DR - JLB PARTNERS
PROJECT/ CASE # 08007
SECTION 24 N DENSITY: HIGH DENSITY



HUELLMANTEL

& AFFILIATES

ATTORNEYS AT LAW

ADMITTED IN:
ARIZONA
DISTRICT OF COLUMBIA

August 12, 2008

Mr. Ryan Levesque
Senior Planner
City of Tempe
31 East 5th Street
Tempe, Arizona 85281

Dear Ryan:

As you are aware, JLB Partners held a neighborhood meeting on June 30, 2008, in accordance with the City of Tempe Zoning and Development Code. The meeting was held at a City of Tempe facility (Escalante Community Center) within blocks of the proposed development site. I should note that you attended the meeting.

A journalism student from ASU attended the event to write a story on the development process. The student supported the GPA and rezoning requests. No other members of the public attended the meeting.

Separately, and in addition to the code requirements, JLB met with members of the homeowners' association that wraps around the south and west sides of the site. It was a short but positive meeting. The association supports the project, and their members were thankful that the revised development plan encloses the previously-exposed garage.

Sincerely,



Charles Huellmantel

ATTACHMENT 16

SITE DATA

08.11.08

SITE LOCATION

1949 EAST UNIVERSITY DR.
TEMPE, ARIZONA 85281

SITE ZONING

ZONING: EXISTING R-4 (PAD)/ PROPOSED MU-4 (PAD)
 SETBACKS: EXISTING 20'-0" / PROPOSED 5'-0" FRONT
 10'-0" SIDE & REAR
 (9'-0" @ EASTERN SIDE YARD)
 EASEMENTS: NONE
 MAX. BLDG. HT.: PROPOSED 60'-0"
 MAX. LOT COVERAGE: 60% MAX.
 LANDSCAPE COVERAGE: 25% MIN.

SITE DENSITY

SITE AREA 276,792.11 S.F./ 6.354 ACRES
 TOTAL UNITS 225 UNITS
 TOTAL BEDS 640
 PROPOSED DENSITY 35.4 UNITS/ACRE

BUILDING INFORMATION

GROSS AREA:
 BUILDING 93,487 S.F. 33.8%
 GARAGE 38,274 S.F. 13.8%
 % OF LOT COVERAGE: 47.6%
 SURFACE PARKING 56,778 S.F. 20.5%
 LANDSCAPE 88,253 S.F. 31.9%
 BUILDING HEIGHT: 56'-0"
 NUMBER OF STORIES: 4

UNIT TABULATIONS

v.2

UNIT TABULATIONS - APARTMENTS						
UNIT TYPE	SQ. FT	# UNITS	TOTAL	% UNITS	% UNIT: # BEDS	
E1 UNITS	441	23	25	11%	12%	23
E-ANSI UNITS	557	2		1%		2
B1 UNITS	824	16	64	7%	30%	32
B1.2 UNITS	824	4		2%		8
B2 UNITS	910	27		13%		54
B3 UNITS	853	7		3%		14
B4 UNITS	974	6	3%	12		
B-ANSI UNITS	1,039	4	2%	8		
C1 UNITS	1,229	12	27	6%	13%	36
C1.2 UNITS	1,194	3		1%		9
C2 UNITS	1,245	10		5%		30
C-ANSI UNITS	1,362	2	1%	6		
D1 UNITS	1,460	80	37%	320		
D1.2 UNITS	1,424	13	6%	52		
D-ANSI UNITS	1,727	6	3%	24		
TOTAL		215		100%	100%	630

UNIT TABULATIONS - LIVE WORK			
UNIT TYPE	SQ. FT	# UNITS	# BEDS
LW-1 UNITS	1,165	6	6
LW-2 UNITS	1,271	3	3
LW-3 UNITS	1,471	1	1
TOTAL		10	10

PARKING REQUIRED

SPACES REQUIRED PER ZONING (MIXED USE)

VEHICLE			
STUDIO:	10	1/UNIT	10 SPACES
1 BED (L/W):	25	1.5/UNIT	37.5 SPACES
2 BED:	64	2/UNIT	128 SPACES
3 BED:	27	2.5/UNIT	67.5 SPACES
4 BED:	99	3/UNIT	297 SPACES
TOTAL	225		540 SPACES

VISITOR: .2/UNIT 45 SPACES
TOTAL REQUIRED 585 SPACES

BICYCLE			
1 BED/STUDIO:	35	.75/UNIT	27 SPACES
2 BED:	64	.75/UNIT	48 SPACES
3 BED:	27	1/UNIT	27 SPACES
4 BED:	99	1/UNIT	99 SPACES
VISITOR:	225	.2/UNIT	45 SPACES
TOTAL			246 SPACES

PARKING PROVIDED

RESIDENTIAL	
VEHICLE	
SURFACE:	167 SPACES
PUBLIC:	30 SPACES
PRIVATE:	4 SPACES
ACCESSIBLE:	137 SPACES
GARAGE:	6 SPACES
ACCESSIBLE:	540 SPACES
ACCESSIBLE:	13 SPACES
TOTAL	717 SPACES
PEDESTRIAN	
BICYCLE:	246 SPACES

ATTACHMENT 17

1949 E. UNIVERSITY DR.

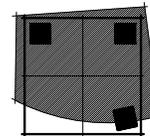
JLB PARTNERS

PROJECT/CASE # SPR 08007
 EXISTING ZONING: R-4 (PAD)
 SECTION: 24 N ZONING: PROPOSED MU-4 (PAD)
 1949 E. UNIVERSITY DR.
 TEMPE, ARIZONA

Hensley Lamkin Rachel, Inc.
 ARCHITECTURE AND PLANNING

SUITE 600
 75254
 DALLAS, TEXAS
 PH 972 726-9400
 FAX 972 726-9401

14881 QUORUM DR.
 DALLAS, TEXAS
 PH 972 726-9400



BRUCE RACHEL, AIA.
 AZ LICENSE NO. 47352
 PRELIMINARY DRAWING
 NOT FOR CONSTRUCTION

SITE DATA

SITE LOCATION
 1949 E UNIVERSITY DR.
 THIRDE, MADISON, WI 53706

SITE ZONING
 EXISTING R-4 (RESIDENTIAL) PROPOSED M-4 (MEDIUM DENSITY)
 EXISTING 20'x7' PROPOSED 20'x7' (PROPOSED 20'x7' FROM 1949 E UNIVERSITY DR.)
 (94' @ 8 BAYING SIDE, 100' @ 10 BAYING SIDE, 100' @ 12 BAYING SIDE, 100' @ 14 BAYING SIDE, 100' @ 16 BAYING SIDE, 100' @ 18 BAYING SIDE, 100' @ 20 BAYING SIDE, 100' @ 22 BAYING SIDE, 100' @ 24 BAYING SIDE, 100' @ 26 BAYING SIDE, 100' @ 28 BAYING SIDE, 100' @ 30 BAYING SIDE, 100' @ 32 BAYING SIDE, 100' @ 34 BAYING SIDE, 100' @ 36 BAYING SIDE, 100' @ 38 BAYING SIDE, 100' @ 40 BAYING SIDE, 100' @ 42 BAYING SIDE, 100' @ 44 BAYING SIDE, 100' @ 46 BAYING SIDE, 100' @ 48 BAYING SIDE, 100' @ 50 BAYING SIDE, 100' @ 52 BAYING SIDE, 100' @ 54 BAYING SIDE, 100' @ 56 BAYING SIDE, 100' @ 58 BAYING SIDE, 100' @ 60 BAYING SIDE, 100' @ 62 BAYING SIDE, 100' @ 64 BAYING SIDE, 100' @ 66 BAYING SIDE, 100' @ 68 BAYING SIDE, 100' @ 70 BAYING SIDE, 100' @ 72 BAYING SIDE, 100' @ 74 BAYING SIDE, 100' @ 76 BAYING SIDE, 100' @ 78 BAYING SIDE, 100' @ 80 BAYING SIDE, 100' @ 82 BAYING SIDE, 100' @ 84 BAYING SIDE, 100' @ 86 BAYING SIDE, 100' @ 88 BAYING SIDE, 100' @ 90 BAYING SIDE, 100' @ 92 BAYING SIDE, 100' @ 94 BAYING SIDE, 100' @ 96 BAYING SIDE, 100' @ 98 BAYING SIDE, 100' @ 100 BAYING SIDE)

ASPHALT DRIVE
 MAX. LOT COVERAGE: 50%
 MAX. LOT COVERAGE: 50%
 LANDSCAPE COVERAGE: 25% MIN.

SITE DENSITY
 276,790.11 S.F. / 6,364 SQUARE FEET
 TOTAL UNITS: 235 UNITS
 PROPOSED DENSITY: 35.4 UNITS/ACRE

BUILDING INFORMATION
 GROSS AREA: 93,487 S.F. 13.8%
 GARAGE: 38,274 S.F. 52.1%
 % OF GROSS FLOOR AREA: 56.78%
 % OF GROSS FLOOR AREA: 50.54%
 % OF GROSS FLOOR AREA: 56.78%
 % OF GROSS FLOOR AREA: 50.54%
 % OF GROSS FLOOR AREA: 56.78%
 % OF GROSS FLOOR AREA: 50.54%
 NUMBER OF STORIES: 3/6/4

UNIT TABULATIONS

UNIT TYPE	NO. OF UNITS	TOTAL UNITS	PERCENT
1-BED UNITS	10	10	4.3%
2-BED UNITS	25	35	15.3%
3-BED UNITS	100	135	58.4%
4-BED UNITS	90	125	53.2%
5-BED UNITS	5	5	2.1%
TOTAL	235	235	100%

PARKING REQUIRED
 SPACES PROVIDED PER ZONING (INDEX USE)

VEHICLE TYPE	NO. OF UNITS	SPACES REQUIRED
1-BED UNITS	10	10
2-BED UNITS	25	50
3-BED UNITS	100	300
4-BED UNITS	90	360
5-BED UNITS	5	25
TOTAL	235	745

PARKING PROVIDED

VEHICLE TYPE	NO. OF UNITS	SPACES PROVIDED
1-BED UNITS	10	10
2-BED UNITS	25	50
3-BED UNITS	100	300
4-BED UNITS	90	360
5-BED UNITS	5	25
TOTAL	235	745

CODE DATA

BUILDING CODE: 2003 IBC
 W/ CITY AMENDMENTS

OCCUPANCY TYPE: GROUP R-2 & S-2

CONSTRUCTION TYPE: TYPE I-A

SPRINKLER SYSTEM: (94.13 SYSTEM)
 (94.13 SYSTEM)
 (94.13 SYSTEM)
 (94.13 SYSTEM)
 (94.13 SYSTEM)

VEHICLE TYPE

VEHICLE TYPE	NO. OF UNITS	SPACES PROVIDED
1-BED UNITS	10	10
2-BED UNITS	25	50
3-BED UNITS	100	300
4-BED UNITS	90	360
5-BED UNITS	5	25
TOTAL	235	745

VEHICLE TYPE

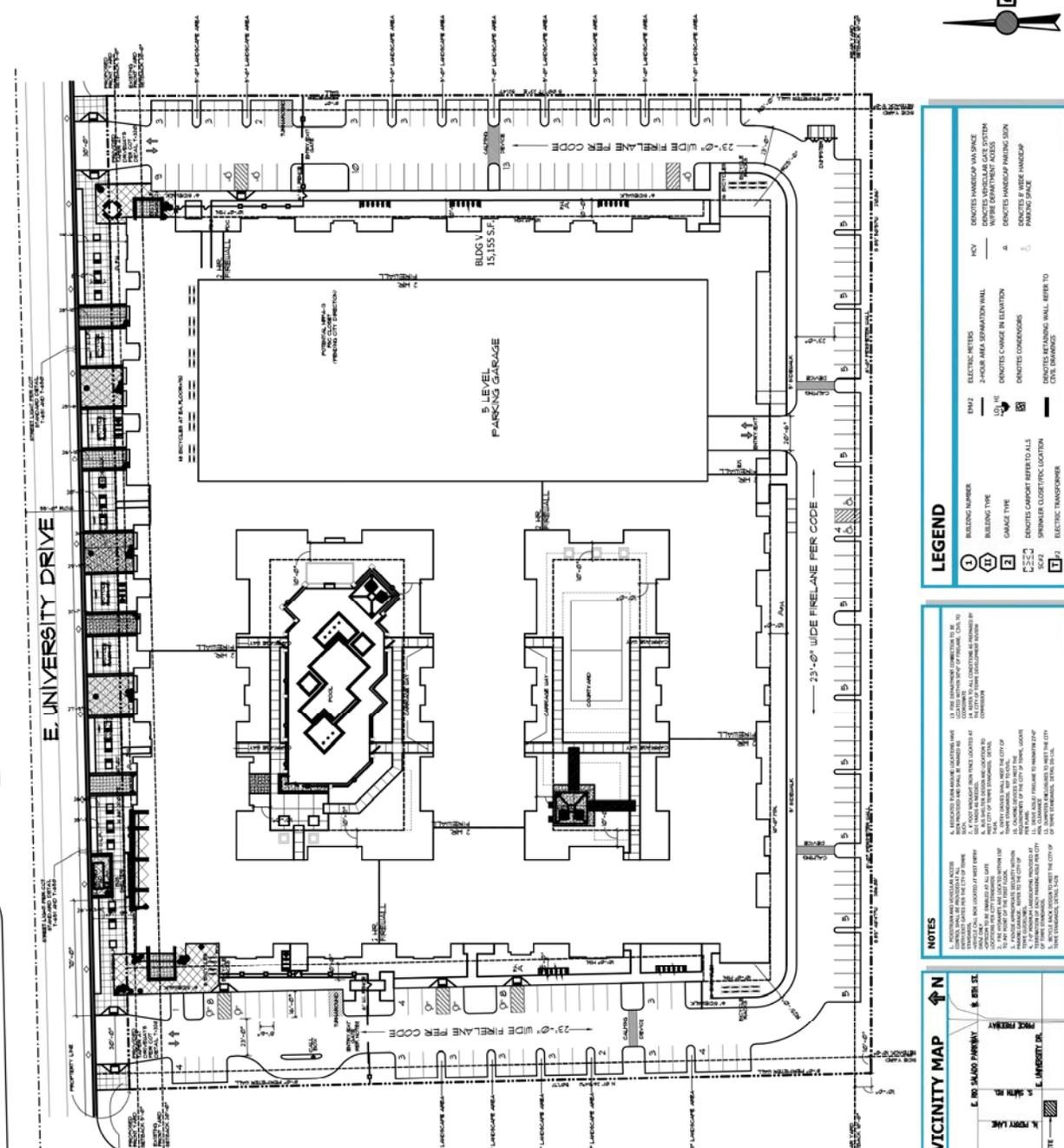
VEHICLE TYPE	NO. OF UNITS	SPACES PROVIDED
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3-BED UNITS	100	300
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TOTAL	235	745

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4-BED UNITS	90	360
5-BED UNITS	5	25
TOTAL	235	745



0811.08

30 0 15 30 60

08006
 A11
 SITE PLAN

V-06-23-08

1949 E UNIVERSITY DR.
 THIRDE, MADISON, WI 53706

E. UNIVERSITY DR.
 1949

Hensley Lamkin Rachel, Inc.
 ARCHITECTURE AND PLANNING
 1680 QUINCY DR.
 MADISON, WI 53706
 PH 927 726-4900
 FAX 927 726-4901
 SUFF. 600
 5004

AS PER CITY OF MADISON, WI
 THE CITY ENGINEER HAS REVIEWED THIS
 DRAWING FOR CONFORMANCE WITH THE
 CITY OF MADISON ORDINANCES AND
 LOCAL ORDINANCES AND HAS
 DETERMINED THAT THIS DRAWING
 COMPLIES WITH THE CITY OF
 MADISON ORDINANCES AND LOCAL
 ORDINANCES AND IS APPROVED FOR
 CONSTRUCTION.

CODE DATA

BUILDING CODE: 2003 IBC
 W/ CITY AMENDMENTS

OCCUPANCY TYPE: GROUP R-2 & S-2

CONSTRUCTION TYPE: TYPE I-A

SPRINKLER SYSTEM: (94.13 SYSTEM)
 (94.13 SYSTEM)
 (94.13 SYSTEM)
 (94.13 SYSTEM)

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TOTAL	235	745

VEHICLE TYPE

VEHICLE TYPE	NO. OF UNITS	SPACES PROVIDED
1-BED UNITS	10	10
2-BED UNITS		



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 AZ LICENSE NO. 47332
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 CHECKED BY: —

DRAWN BY: —
 DATE: 07/20/06
 DATE: 07/20/06
 DATE: 07/20/06

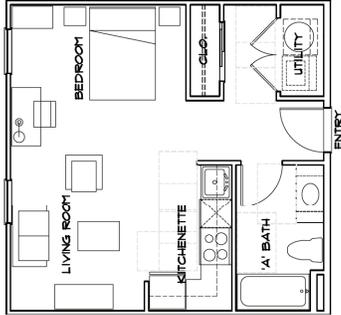
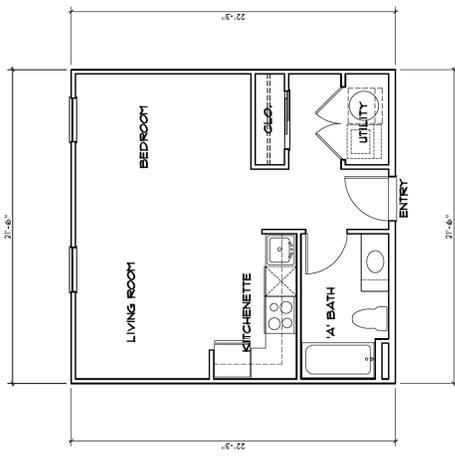
REVISIONS

08016
A21
 UNIT E1
 Y-02-18-08

UNIT LEGEND		V 08-1	
WINDOW KEY		WINDOW MARK	
FLOOR LOCATION		FLOOR LOCATION	
DOOR KEY		DOOR MARK	
FLOOR LOCATION		FLOOR LOCATION	
DEFINITIONS	<p>DENOTES FURRED CEILING 1" OF TYP.</p> <p>DENOTES 1" SLOPE DOWN TO 1/2" SLOPE</p> <p>DENOTES 2" SLOPE DOWN TO 1/2" SLOPE</p> <p>DENOTES 2" SLOPE DOWN TO 1/2" SLOPE</p> <p>200 WALL</p> <p>DENOTES 2" SLOPE DOWN TO 1/2" SLOPE</p> <p>REF ALL, ALL AND ALL</p> <p>NOTES: ALL UNITS ON THE GROUND FLOOR AND ALL UNITS ON AN ACCESSIBLE FLOOR ARE TO BE CONSIDERED AS ACCESSIBLE UNITS. GUIDELINES, REF A12 FOR DETAILS.</p>		
	<p>TB = TOWEL BAR @ 37" AFF M.C. = MEDICINE CABINET V = VENTILATION C = CARPET T = CERAMIC TILE W = WASHER D = DRYER WH = WATER HEATER RW = RANGE/OVEN HW = HURDLE DW = DISHWASHER I = DISPOSAL</p>		

- UNIT NOTES**
1. ALL MASONRY IN SPACES BETWEEN WALLS ARE ASSUMED TO BE 3 1/2" THICK, AND PLUMBING WALLS 5 1/2" THICK.
 2. ALL WALLS TO BE FINISHED WITH 1/2" GYP BOARD FURRED DOWN FOR MECHANICAL CHASES.
 3. PAINT UNDERSIDE OF ALL EXPOSED SHELVING/COUNTERTOPS.
 4. ALL TOWEL BARS ARE TO BE MOUNTED AT 67" IN TUB AND AT 37" AT 37" AFF TO CENTER.
 5. INTERIOR UNIT DOORS SHALL ALLOW MIN. 3/4" AIRFLOW FOR RETURN AIR.
 6. ALL EXTERIOR WINDOWS SHALL MEET ALL FEDERAL GLAZING STANDARDS AND SEEDING GLASS DOORS SHALL MEET ALL FEDERAL GLAZING STANDARDS.
 7. PROVIDE WATER LINE STOP AND OFF FOR LEAK MAKERS FOR ALL REPRESENTORS.
 8. PROVIDE WATER LINE STOP AND OFF FOR LEAK MAKERS FOR ALL REPRESENTORS.
 9. PROVIDE WATER LINE STOP AND OFF FOR LEAK MAKERS FOR ALL REPRESENTORS.
 10. VERTICAL MECHANICAL CHASES IN UNITS TO BE FURRED DOWN TO 1/2" SLOPE TO 1/2" SLOPE.
 11. VERIFY ALL TUBWALL LENGTHS W/ ACTUAL TUB PROVIDED.
 12. COORDINATE W/ FRAMER, MANUFACTURER & TYPICAL TUB DETAILS.
 13. ALL UNITS ARE TO MEET THE REQUIREMENTS OF THE HUD FAIR HOUSING GUIDELINES UNLESS ON AN ABOVE GRADE FLOOR ROOF ACCESSIBLE UNITS.
 14. REFER TO A11 FOR TYPICAL INTERIOR DETAIL STANDARDS. REFER TO A11 FOR ACCESSIBLE UNIT REQUIREMENTS. REFER TO A11 FOR ACCESSIBLE UNIT REQUIREMENTS.
 15. ALL WALLS TO MEET I.L.A. LOADS AS A MINIMUM UNLESS SHOWN OTHERWISE.
 16. X1 BATH BY BATH REFER TO HUD FAIR HOUSING BATHROOM REQUIREMENTS.
 17. WASHERS/DRYERS IN FAIR HOUSING UNITS AT THE DISCRETION OF THE OWNER FOR BARRIER ACCESSIBILITY.

UNIT E1 TOTAL NET AREA = 418 SF.



UNIT E1 - FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 418 SF.

UNIT E1 - FINISH PLAN
 SCALE: 1/4" = 1'-0"
 418 SF.



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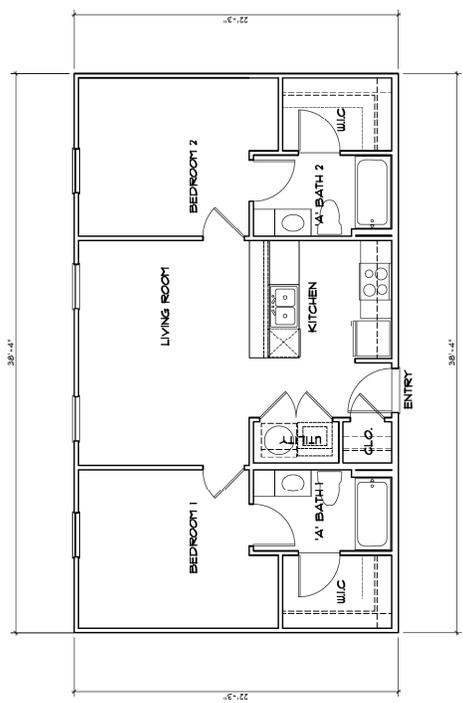
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PROJECT NO.: KC
 SHEET NO.: 08016
 CHECKED BY: [Signature]
 DATE: 08/11/10
 DRAWN BY: [Signature]
 DATE: 08/11/10
 SCALE: 1/4" = 1'-0"
 UNIT: SF
 853 SF

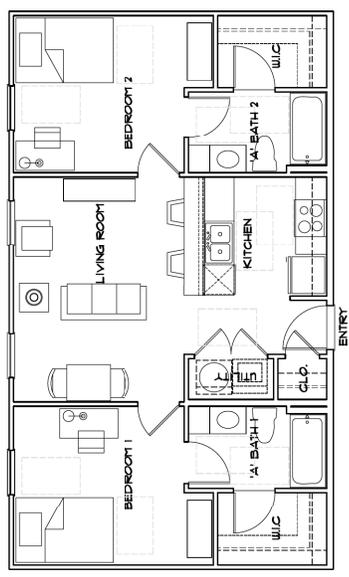
UNIT LEGEND	V 06-1
WINDOW KEY	WINDOW MARK
FLOOR LOCATION	TRANSOSH MARK
DOOR KEY	FLOOR LOCATION
FLOOR LOCATION	DOOR MARK
DEFINITIONS	<p>TB = TOWEL BAR @ 37" AFF MC = MEDICINE CABINET V = VENTIL = VCT D = DRYER WH = WATER HEATER RW = RANGE/OVEN MW = MICROWAVE DW = DISHWASHER T = DISPOSAL</p>

- UNIT NOTES**
1. ALL MASONRY FINISHES, SPICAL, TUB WALLS ARE ASSUMED TO BE 3/16" THICK, AND PLUMBING CHANGES.
 2. ALL TUBS ARE TO BE MOUNTED AT 60" IN TUB AND AT 36" AT 19" AFF TO CENTER.
 3. PAINT UNDERSIDE OF ALL EXPOSED SHELVING/COUNTERTOPS.
 4. ALL TUBS ARE TO BE MOUNTED AT 60" IN TUB AND AT 36" AT 19" AFF TO CENTER.
 5. INTERIOR UNIT DOORS SHALL ALLOW MIN. 3/4" AIRFLOW FOR RETURN.
 6. ALL EXTERIOR WINDOWS SHALL MEET ALL FEDERAL GLAZING STANDARDS AND SEEDING GLASS DOORS SHALL MEET ALL FEDERAL GLAZING STANDARDS.
 7. PROVIDE WATER LINE STOP AND OFF FOR LEAK MAKERS FOR ALL REPRESENTORS.
 8. PROVIDE WATER LINE STOP AND OFF FOR LEAK MAKERS FOR ALL REPRESENTORS.
 9. PROVIDE WATER LINE STOP AND OFF FOR LEAK MAKERS FOR ALL REPRESENTORS.
 10. VERTICAL MECHANICAL CHANGES IN UNITS TO BE FIRST STOPPED.
 11. VERIFY ALL TUBWALL LENGTHS W/ ACTUAL TUB PROVIDED.
 12. COORDINATE W/ FRAMER, MANUFACTURER & TYPICAL TUB DETAILS FOR ALL TUBS.
 13. ALL UNITS ARE TO MEET THE REQUIREMENTS OF THE HUD FAIR HOUSING GUIDELINES UNLESS ON AN ABOVE GRADE FLOOR ROOF.
 14. REFER TO ALL FOR TYPICAL INTERIOR DETAIL STANDARDS. REFER TO ALL FOR ALL UNIT REQUIREMENTS.
 15. ALL WALLS TO MEET U.L. L-102 AS A MINIMUM UNLESS SHOWN OTHERWISE.
 16. X1 BATH BY BATH REFER TO HUD FAIR HOUSING BATHROOM REGULATIONS.
 17. WASHERS/DRYERS IN FAIR HOUSING UNITS AT THE REQUEST OF THE TENANT FOR QUARTER ACCESSIBILITY.

UNIT B3 TOTAL NET AREA = 853 SF.



UNIT B3 - FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 853 SF.



UNIT B3 - FINISH PLAN
 SCALE: 1/4" = 1'-0"
 853 SF.



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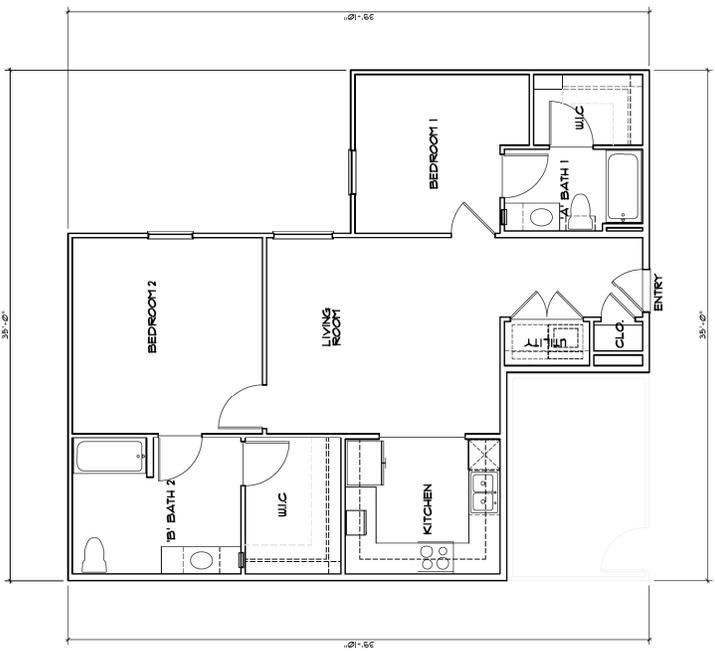
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 DATE: 07/20/06
 DRAWN BY: [Signature]
 DATE: 07/20/06
 SCALE: 1/4" = 1'-0"
 SHEET NO.: 08016-01
 TOTAL SHEETS: 08016-01

REVISIONS
 08016
A27
 UNIT B-ANSI
 10/2-18-08

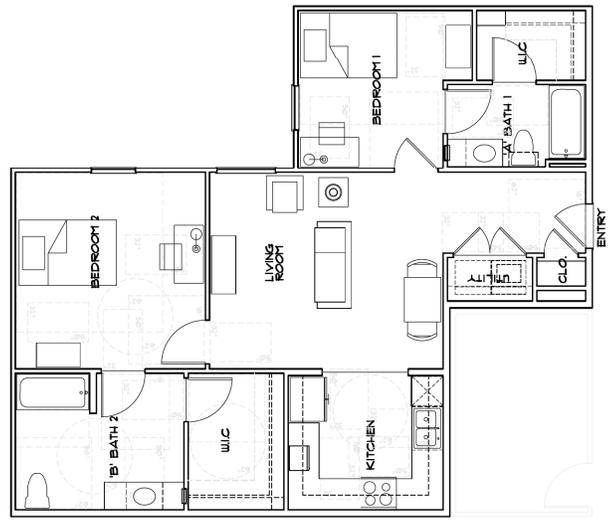
UNIT LEGEND	V 06-1
WINDOW MARK	WINDOW MARK
FLOOR LOCATION	FLOOR LOCATION
DOOR MARK	DOOR MARK
FLOOR LOCATION	FLOOR LOCATION
DEFINITIONS	<p>TB = TOWEL BAR @ 37" AFF MC = MEDICINE CABINET V = VENT = VCT D = DOOR T = CERAMIC TILE W = WASHER D = DRYER WH = WATER HEATER RW = RANGE/OVEN HW = HOOD/WASHER DW = DISHWASHER I = DISPOSAL</p>

- UNIT NOTES**
1. ALL MASONRY WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2000 INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL ORDINANCES.
 2. ALL WALLS SHALL BE 3/4" THICK AND FINISHED WITH 5/8" GYPSUM BOARD.
 3. PAINT UNDERSIDE OF ALL EXPOSED SHELVING/COUNTERTOPS.
 4. ALL TOWEL BARS ARE TO BE MOUNTED AT 60" IN TUB AND AT 37" AFF TO CENTER.
 5. INTERIOR UNIT DOORS SHALL ALLOW MIN. 3/4" AIRFLOW FOR RETURN AIR.
 6. ALL EXTERIOR WINDOWS SHALL MEET ALL FEDERAL GLAZING STANDARDS AND SEaling DOORS SHALL MEET ALL FEDERAL STANDARDS.
 7. PROVIDE WATER LINE STUB AND OUT FOR DICE MAKERS FOR ALL REPRESENTATIONS.
 8. PROVIDE THE ASSEMBLY ARE OF 1 HOUR RATED FIRE RESISTIVE CONSTRUCTION. ALL HOLES, GAPS, JOINTS AND PENETRATIONS SHALL BE PROPERLY SEaled WITH A UL APPROVED FIRESTOPPING MATERIALS AS SYSTEMS.
 9. VERIFY ALL TUBWALL LENGTHS W/ ACTUAL TUB PROVIDED.
 10. COORDINATE W/ FRAMER, MANUFACTURER & TYPICAL TUB DETAILS TO MEET THE REQUIREMENTS OF THE HUD FAIR HOUSING GUIDELINES UNLESS ON AN ABOVE GRADE FLOOR FOR ABOVE GRADE CONSTRUCTION. REFER TO ALL OTHER AXIS UNIT REQUIREMENTS.
 11. ALL WALLS TO MEET U.L. AS A MINIMUM UNLESS SHOWN OTHERWISE.
 12. ALL BATHS TO BE REFERRED TO HUD FAIR HOUSING BATHROOM REQUIREMENTS.
 13. WASHERS/DRYERS IN HUD HOUSING UNITS AT THE DISCRETION OF THE OWNER FOR BARRIER ACCESSIBILITY.

UNIT B-ANSI TOTAL NET AREA = 1039 S.F.



UNIT B-ANSI - FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 08016



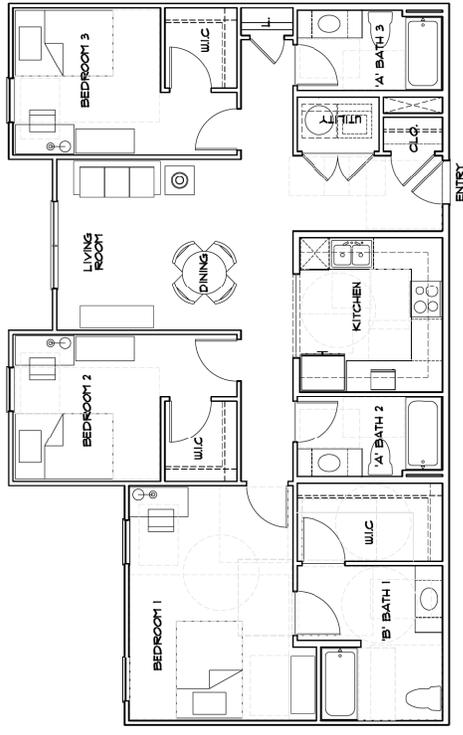
UNIT B-ANSI - FINISH PLAN
 SCALE: 1/4" = 1'-0"
 08016



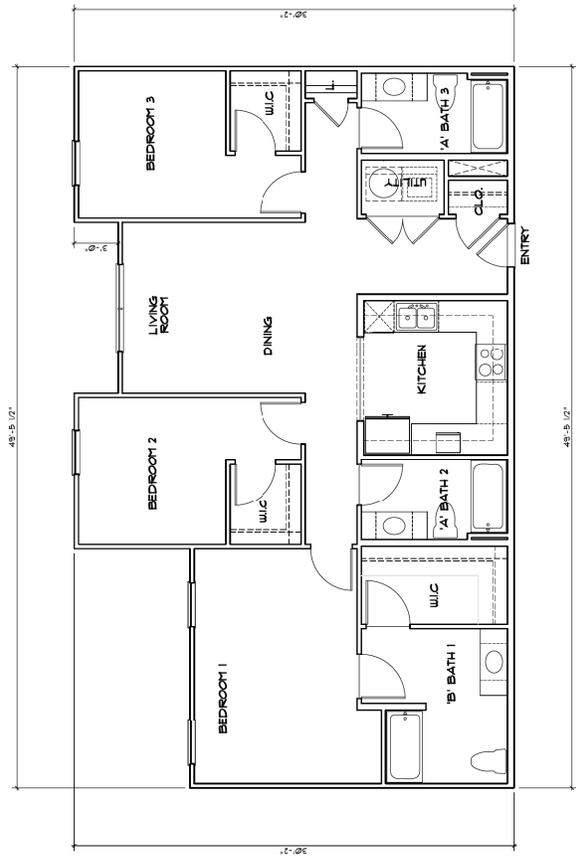
BRUCE RACHEL, AIA
 AZ LICENSE NO. 47332
 PRELIMINARY DRAWING
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PROJECT NO: 198-00027
 SHEET NO: 08016
 CHECKED BY: [Signature]
 DATE SET: 07/25/06
 DATE PLOTTED: 08/01/06
 PLOTTED BY: [Signature]
 REVISIONS:
 08016
A2.10
 UNIT C-ANS
 Y-02-18-08



UNIT C-ANSI - FINISH PLAN
 SCALE: 1/4" = 1'-0"
 13'7" 9F



UNIT C-ANSI - FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 13'7" 9F

UNIT LEGEND V 06-1

WINDOW KEY
 WINDOW MARK
 FLOOR LOCATION
 TRANSOM MARK
 FLOOR LOCATION

DOOR KEY
 DOOR MARK
 FLOOR LOCATION

DEFINITIONS
 TB = TOWEL BAR @ 3' AFF
 M.C. = MEDICINE CABINET
 V = VENTIL = VCT
 C = CARPET
 T = CERAMIC TILE
 W = WASHER
 D = DRYER
 WH = WATER HEATER
 RW = RANGE/OVEN
 HW = HOD/WASHER
 DW = DISHWASHER
 I = DISPOSAL

NOTES:
 ALL UNITS ON THE GROUND FLOOR AND
 ALL UNITS ON AN ACCESSIBLE FLOOR ARE
 TO BE CONSTRUCTED TO MEET THE
 GUIDELINES. REF A3.2 FOR DETAILS.

UNIT NOTES V 06-1

1. ALL WINDOW SILLINGS, SYPHONS, TUB AND WALLS ARE ASSUMED TO BE 3/4" THICK, AND PLUMBING CHANGES.
2. ALL WINDOW SILLINGS TO BE BURIED DOWN FOR MECHANICAL CHANGES.
3. PAINT UNDERSIDE OF ALL EXPOSED SHELVING/COUNTERTOPS.
4. ALL TOWEL BARS ARE TO BE MOUNTED AT 66" IN TUB AND AT 39" AFF TO CENTER, TUBS AND TUBS TO CENTER, TUBS AND TUBS TO CENTER.
5. INTERIOR UNIT DOORS SHALL ALLOW MIN. 3/4" AIRFLOW FOR RETURN AIR.
6. ALL EXTERIOR WINDOWS SHALL MEET ALL FEDERAL GLAZING STANDARDS AND SEILING GLASS DOORS SHALL MEET ALL FEDERAL STANDARDS.
7. PROVIDE WATER LINE STOP AND OFF FOR ICE MAKERS FOR ALL REPRESENTATIONS.
8. PROVIDE WATER LINE STOP AND OFF FOR ICE MAKERS FOR ALL REPRESENTATIONS.
9. PROVIDE WATER LINE STOP AND OFF FOR ICE MAKERS FOR ALL REPRESENTATIONS.
10. VERTICAL MECHANICAL CHANGES IN UNITS TO BE FIRST STOPPED AT THE MANUFACTURER'S TYPICAL TUB DETAILS COORDINATE WITH MANUFACTURER'S TYPICAL TUB DETAILS.
11. VERIFY ALL TUBWALL LENGTHS WITH ACTUAL TUB PROVIDED.
12. VERIFY ALL TUBWALL LENGTHS WITH ACTUAL TUB PROVIDED.
13. ALL UNITS ARE TO MEET THE REQUIREMENTS OF THE HUD FAIR HOUSING GUIDELINES UNLESS ON AN ABOVE GRADE FLOOR NOT REFERRED TO AS SUCH.
14. ALL WALLS TO MEET U.L. LOAD AS A MINIMUM UNLESS SHOWN OTHERWISE.
15. REFER TO A3.1 FOR TYPICAL INTERIOR DETAIL STANDARDS. REFER TO A3.2 FOR TYPICAL EXTERIOR DETAIL STANDARDS. REFER TO A3.3 FOR TYPICAL EXTERIOR DETAIL STANDARDS.
16. X/BATH TO MEET U.L. LOAD AS A MINIMUM UNLESS SHOWN OTHERWISE.
17. WASHERS/DRYERS IN FAIR HOUSING UNITS AT THE REQUEST OF THE TENANT FOR QUANTER ACCESSIBILITY.

UNIT C-ANSI TOTAL NET AREA = 13'7" 9F.

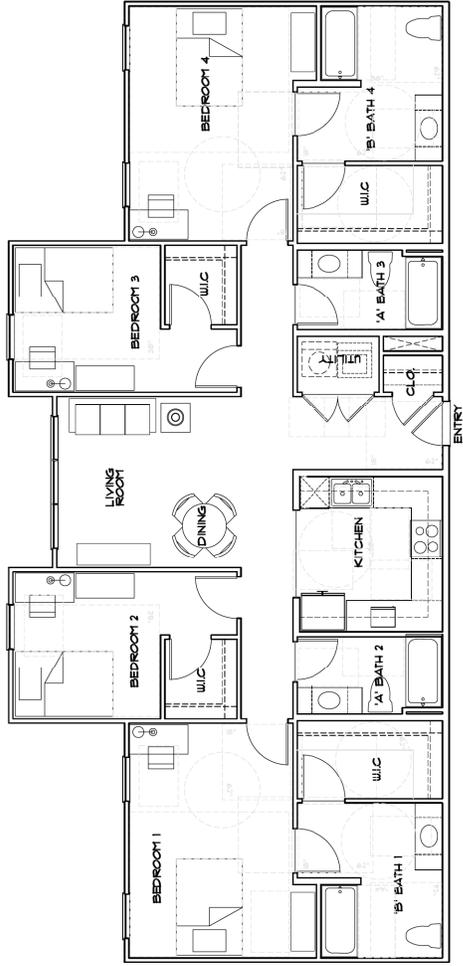


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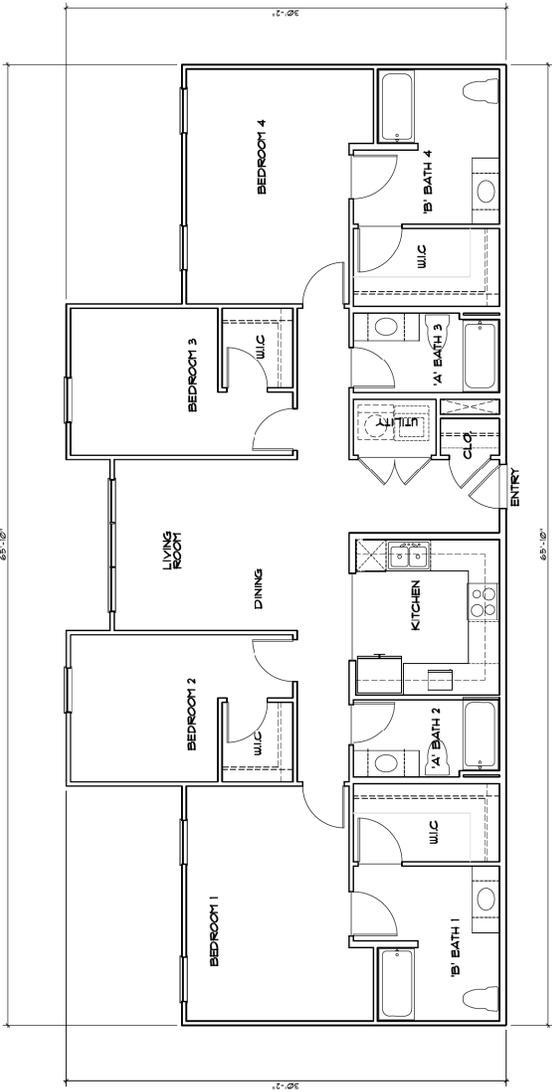
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PROJECT NO.:	KC
DATE:	06/20/06
CHECKED BY:	—
DRAWN BY:	—
DATE SET:	06/20/06
DATE REVISION SET:	—
DATE APPROVED:	—
DATE REVISION APPROVED:	—
REVISIONS:	—

08016
A212
 UNIT D-ANSI
 Y-02-18-08



UNIT D-ANSI - FINISH PLAN
 SCALE: 1/4" = 1'-0"
 16' 9" SF



UNIT D-ANSI - FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 16' 9" SF

UNIT LEGEND		V 06-1	
WINDOW MARK	WINDOW MARK	W	WINDOW MARK
FLOOR LOCATION	FLOOR LOCATION	W	TRANSOM MARK
DOOR MARK	DOOR MARK	F	FLOOR LOCATION
FLOOR LOCATION	FLOOR LOCATION		
DEFINITIONS	DEFINITIONS		
3/8" WALL	3/8" WALL		
1/2" WALL	1/2" WALL		
2X6 WALL	2X6 WALL		
3X6 WALL	3X6 WALL		
4X4 WALL	4X4 WALL		
6X6 WALL	6X6 WALL		
8X8 WALL	8X8 WALL		
12X12 WALL	12X12 WALL		
16X16 WALL	16X16 WALL		
24X24 WALL	24X24 WALL		
36X36 WALL	36X36 WALL		
48X48 WALL	48X48 WALL		
60X60 WALL	60X60 WALL		
72X72 WALL	72X72 WALL		
96X96 WALL	96X96 WALL		
120X120 WALL	120X120 WALL		
144X144 WALL	144X144 WALL		
168X168 WALL	168X168 WALL		
192X192 WALL	192X192 WALL		
216X216 WALL	216X216 WALL		
240X240 WALL	240X240 WALL		
264X264 WALL	264X264 WALL		
288X288 WALL	288X288 WALL		
312X312 WALL	312X312 WALL		
336X336 WALL	336X336 WALL		
360X360 WALL	360X360 WALL		
384X384 WALL	384X384 WALL		
408X408 WALL	408X408 WALL		
432X432 WALL	432X432 WALL		
456X456 WALL	456X456 WALL		
480X480 WALL	480X480 WALL		
504X504 WALL	504X504 WALL		
528X528 WALL	528X528 WALL		
552X552 WALL	552X552 WALL		
576X576 WALL	576X576 WALL		
600X600 WALL	600X600 WALL		
624X624 WALL	624X624 WALL		
648X648 WALL	648X648 WALL		
672X672 WALL	672X672 WALL		
696X696 WALL	696X696 WALL		
720X720 WALL	720X720 WALL		
744X744 WALL	744X744 WALL		
768X768 WALL	768X768 WALL		
792X792 WALL	792X792 WALL		
816X816 WALL	816X816 WALL		
840X840 WALL	840X840 WALL		
864X864 WALL	864X864 WALL		
888X888 WALL	888X888 WALL		
912X912 WALL	912X912 WALL		
936X936 WALL	936X936 WALL		
960X960 WALL	960X960 WALL		
984X984 WALL	984X984 WALL		
1008X1008 WALL	1008X1008 WALL		
1032X1032 WALL	1032X1032 WALL		
1056X1056 WALL	1056X1056 WALL		
1080X1080 WALL	1080X1080 WALL		
1104X1104 WALL	1104X1104 WALL		
1128X1128 WALL	1128X1128 WALL		
1152X1152 WALL	1152X1152 WALL		
1176X1176 WALL	1176X1176 WALL		
1200X1200 WALL	1200X1200 WALL		
1224X1224 WALL	1224X1224 WALL		
1248X1248 WALL	1248X1248 WALL		
1272X1272 WALL	1272X1272 WALL		
1296X1296 WALL	1296X1296 WALL		
1320X1320 WALL	1320X1320 WALL		
1344X1344 WALL	1344X1344 WALL		
1368X1368 WALL	1368X1368 WALL		
1392X1392 WALL	1392X1392 WALL		
1416X1416 WALL	1416X1416 WALL		
1440X1440 WALL	1440X1440 WALL		
1464X1464 WALL	1464X1464 WALL		
1488X1488 WALL	1488X1488 WALL		
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1536X1536 WALL	1536X1536 WALL		
1560X1560 WALL	1560X1560 WALL		
1584X1584 WALL	1584X1584 WALL		
1608X1608 WALL	1608X1608 WALL		
1632X1632 WALL	1632X1632 WALL		
1656X1656 WALL	1656X1656 WALL		
1680X1680 WALL	1680X1680 WALL		
1704X1704 WALL	1704X1704 WALL		
1728X1728 WALL	1728X1728 WALL		
1752X1752 WALL	1752X1752 WALL		
1776X1776 WALL	1776X1776 WALL		
1800X1800 WALL	1800X1800 WALL		
1824X1824 WALL	1824X1824 WALL		
1848X1848 WALL	1848X1848 WALL		
1872X1872 WALL	1872X1872 WALL		
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2160X2160 WALL	2160X2160 WALL		
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2208X2208 WALL	2208X2208 WALL		
2232X2232 WALL	2232X2232 WALL		
2256X2256 WALL	2256X2256 WALL		
2280X2280 WALL	2280X2280 WALL		
2304X2304 WALL	2304X2304 WALL		
2328X2328 WALL	2328X2328 WALL		
2352X2352 WALL	2352X2352 WALL		
2376X2376 WALL	2376X2376 WALL		
2400X2400 WALL	2400X2400 WALL		
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2472X2472 WALL	2472X2472 WALL		
2496X2496 WALL	2496X2496 WALL		
2520X2520 WALL	2520X2520 WALL		
2544X2544 WALL	2544X2544 WALL		
2568X2568 WALL	2568X2568 WALL		
2592X2592 WALL	2592X2592 WALL		
2616X2616 WALL	2616X2616 WALL		
2640X2640 WALL	2640X2640 WALL		
2664X2664 WALL	2664X2664 WALL		
2688X2688 WALL	2688X2688 WALL		
2712X2712 WALL	2712X2712 WALL		
2736X2736 WALL	2736X2736 WALL		
2760X2760 WALL	2760X2760 WALL		
2784X2784 WALL	2784X2784 WALL		
2808X2808 WALL	2808X2808 WALL		
2832X2832 WALL	2832X2832 WALL		
2856X2856 WALL	2856X2856 WALL		
2880X2880 WALL	2880X2880 WALL		
2904X2904 WALL	2904X2904 WALL		
2928X2928 WALL	2928X2928 WALL		
2952X2952 WALL	2952X2952 WALL		
2976X2976 WALL	2976X2976 WALL		
3000X3000 WALL	3000X3000 WALL		

UNIT NOTES		V 06-1	
1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE TO FACE.	1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE TO FACE.		
2. WALLS SHALL BE 3/8" THICK UNLESS OTHERWISE NOTED.	2. WALLS SHALL BE 3/8" THICK UNLESS OTHERWISE NOTED.		
3. ALL EXPOSED SHELVING/COUNTERTOPS, CHAIRS, AND SEATING SHALL BE FINISHED DOWN FOR MECHANICAL.	3. ALL EXPOSED SHELVING/COUNTERTOPS, CHAIRS, AND SEATING SHALL BE FINISHED DOWN FOR MECHANICAL.		
4. ALL TOWEL BARS ARE TO BE INSTALLED AT 5'0" IN THE AND AT 5'0" IN THE CENTER. TOWEL AND TOILET PAPER DISPENSERS AT 5'0" TO CENTER.	4. ALL TOWEL BARS ARE TO BE INSTALLED AT 5'0" IN THE AND AT 5'0" IN THE CENTER. TOWEL AND TOILET PAPER DISPENSERS AT 5'0" TO CENTER.		
5. INTERIOR DOORS SHALL ALLOW MIN. 3/4" AIRFLOW FOR RETURN AIR.	5. INTERIOR DOORS SHALL ALLOW MIN. 3/4" AIRFLOW FOR RETURN AIR.		
6. ALL EXTERIOR WINDOWS SHALL MEET ALL FEDERAL GLAZING STANDARDS AND SLIDING GLASS DOORS SHALL MEET FPN LOADS AND WIND UPLIFT REQUIREMENTS.	6. ALL EXTERIOR WINDOWS SHALL MEET ALL FEDERAL GLAZING STANDARDS AND SLIDING GLASS DOORS SHALL MEET FPN LOADS AND WIND UPLIFT REQUIREMENTS.		
7. PROVIDE WATER LINE STOP AND CUT OFF FOR CE WAINERS FOR ALL REPAIRS.	7. PROVIDE WATER LINE STOP AND CUT OFF FOR CE WAINERS FOR ALL REPAIRS.		
8. PROVIDE MECHANICAL CHANGES ARE OF 1/4" OR GREATER.	8. PROVIDE MECHANICAL CHANGES ARE OF 1/4" OR GREATER.		
9. COORDINATE WITH MANUFACTURER & TRUCK TUB DETAILS FOR ALL REPAIRS.	9. COORDINATE WITH MANUFACTURER & TRUCK TUB DETAILS FOR ALL REPAIRS.		
10. VERIFY ALL TUBWALL LENGTHS W/ ACTUAL, TUB ROUNDED, AND TUBWALL LENGTHS W/ ACTUAL, TUB ROUNDED.	10. VERIFY ALL TUBWALL LENGTHS W/ ACTUAL, TUB ROUNDED, AND TUBWALL LENGTHS W/ ACTUAL, TUB ROUNDED.		
11. REFER TO ALL FOR TYPICAL INTERIOR DETAIL STANDARDS. REFER TO ALL FOR TYPICAL INTERIOR DETAIL STANDARDS. REFER TO ALL FOR TYPICAL INTERIOR DETAIL STANDARDS.	11. REFER TO ALL FOR TYPICAL INTERIOR DETAIL STANDARDS. REFER TO ALL FOR TYPICAL INTERIOR DETAIL STANDARDS. REFER TO ALL FOR TYPICAL INTERIOR DETAIL STANDARDS.		
12. ALL UNITS ARE TO MEET THE REQUIREMENTS OF THE HUD FAIR HOUSING GUIDELINES UNLESS ON AN ABOVE GRADE FLOOR NOT REFER TO ALL FOR TYPICAL INTERIOR DETAIL STANDARDS. REFER TO ALL FOR TYPICAL INTERIOR DETAIL STANDARDS. REFER TO ALL FOR TYPICAL INTERIOR DETAIL STANDARDS.	12. ALL UNITS ARE TO MEET THE REQUIREMENTS OF THE HUD FAIR HOUSING GUIDELINES UNLESS ON AN ABOVE GRADE FLOOR NOT REFER TO ALL FOR TYPICAL INTERIOR DETAIL STANDARDS. REFER TO ALL FOR TYPICAL INTERIOR DETAIL STANDARDS. REFER TO ALL FOR TYPICAL INTERIOR DETAIL STANDARDS.		
13. ALL WALLS TO MEET ULP ULS AS A MINIMUM UNLESS SHOWN OTHERWISE.	13. ALL WALLS TO MEET ULP ULS AS A MINIMUM UNLESS SHOWN OTHERWISE.		
14. REFER TO ALL FOR TYPICAL INTERIOR DETAIL STANDARDS. REFER TO ALL FOR TYPICAL INTERIOR DETAIL STANDARDS. REFER TO ALL FOR TYPICAL INTERIOR DETAIL STANDARDS.	14. REFER TO ALL FOR TYPICAL INTERIOR DETAIL STANDARDS. REFER TO ALL FOR TYPICAL INTERIOR DETAIL STANDARDS. REFER TO ALL FOR TYPICAL INTERIOR DETAIL STANDARDS.		
15. ALL WALLS TO MEET ULP ULS AS A MINIMUM UNLESS SHOWN OTHERWISE.	15. ALL WALLS TO MEET ULP ULS AS A MINIMUM UNLESS SHOWN OTHERWISE.		
16. WAINERS IN BATH REFER TO HUD FAIR HOUSING BATHROOM DESIGNATIONS.	16. WAINERS IN BATH REFER TO HUD FAIR HOUSING BATHROOM DESIGNATIONS.		
17. WAINERS IN BATH REFER TO HUD FAIR HOUSING BATHROOM DESIGNATIONS. REFER TO ALL FOR TYPICAL INTERIOR DETAIL STANDARDS. REFER TO ALL FOR TYPICAL INTERIOR DETAIL STANDARDS. REFER TO ALL FOR TYPICAL INTERIOR DETAIL STANDARDS.	17. WAINERS IN BATH REFER TO HUD FAIR HOUSING BATHROOM DESIGNATIONS. REFER TO ALL FOR TYPICAL INTERIOR DETAIL STANDARDS. REFER TO ALL FOR TYPICAL INTERIOR DETAIL STANDARDS. REFER TO ALL FOR TYPICAL INTERIOR DETAIL STANDARDS.		

UNIT D-ANSI TOTAL NET AREA = 1692 SF.



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PROJECT NO.:	KC
DATE:	07/20/06
CHECKED BY:	—
DRAWN BY:	—
SCALE:	AS SHOWN
DATE PLOTTED:	07/20/06 11:47 AM
PLotted BY:	—

08016
A2.15
 UNIT LU-3
 1/4" = 1'-0"
 9/18 SF

UNIT LEGEND V 06-1

WINDOW KEY
 WINDOW MARK
 FLOOR LOCATION
 WINDOW MARK
 WINDOW MARK
 FLOOR LOCATION

DOOR KEY
 DOOR MARK
 FLOOR LOCATION

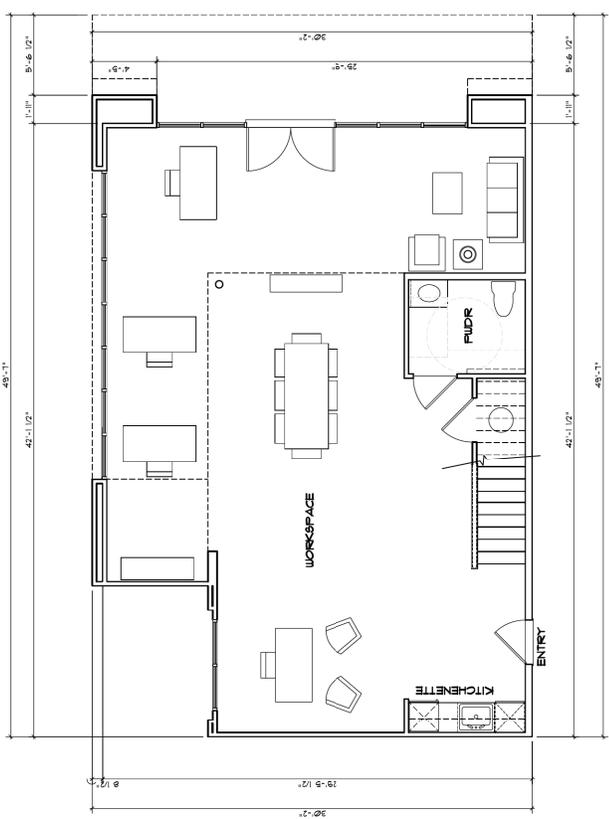
DEFINITIONS
 DENOTES FURRED CEILING
 1/2" TYP.
 DENOTES 1/2" S&P
 DENOTES 3/4" S&P
 DENOTES SINGL @ PARTO
 2X6 WALL
 DENOTES 2X BLOODING
 REF A3.1, A3.2 AND A3.3
 DENOTES 2X BLOODING
 REF A3.1, A3.2 AND A3.3
 DENOTES 2X BLOODING
 REF A3.1, A3.2 AND A3.3

NOTES
 ALL UNITS ON THE GROUND FLOOR AND ALL UNITS ON AN ACCESSIBLE FLOOR ARE TO BE CONSIDERED AS ACCESSIBLE UNITS. REFER TO A3.2 FOR DETAILS.
 ALL UNITS ON THE GROUND FLOOR AND ALL UNITS ON AN ACCESSIBLE FLOOR ARE TO BE CONSIDERED AS ACCESSIBLE UNITS. REFER TO A3.2 FOR DETAILS.

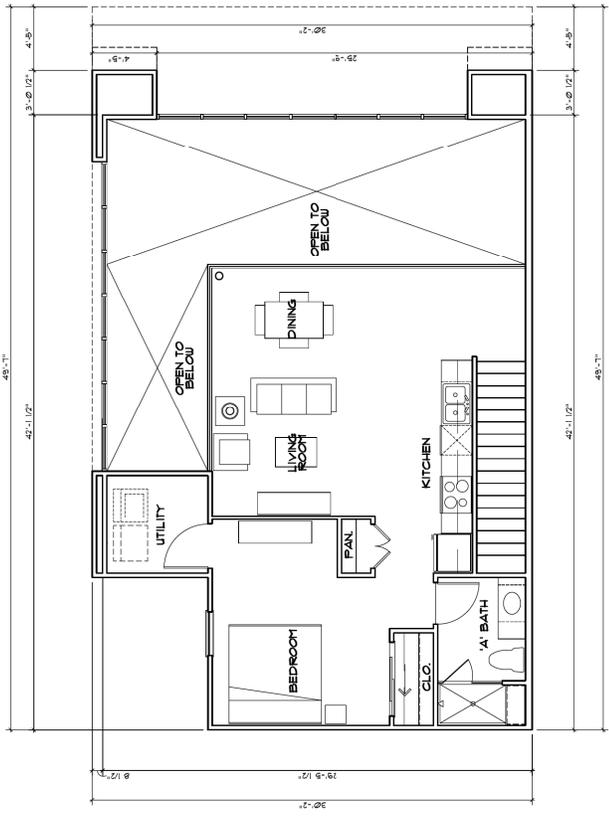
UNIT NOTES V 06-1

1. ALL INTERIOR FINISHES, UNLESS OTHERWISE NOTED, SHALL BE AS SHOWN.
2. WALLS SHALL BE 5/8" THICK, AND FLOORING SHALL BE 3/4" THICK, UNLESS OTHERWISE NOTED.
3. ALL WALLS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD, UNLESS OTHERWISE NOTED.
4. ALL TOWER BARS ARE TO BE INSTALLED AT 18" IN THE AND AT 18" ON THE PERIPHERY. WALL AND TOILET PAPER DISPENSERS ARE TO BE INSTALLED AT 5' FROM THE CENTER.
5. INTERIOR UNIT DOORS SHALL ALLOW MIN. 34" AIRFLOW FOR RETURN AIR.
6. ALL EXTERIOR WINDOWS SHALL MEET ALL FEDERAL GLAZING REQUIREMENTS. WINDOW GLAZING SHALL BE AS SHOWN. STANDING AND SLIDING GLASS DOORS SHALL HAVE FPN GLAZING.
7. PROVIDE WATER LINE STOP AND CUT OFF FOR ICE MAKERS.
8. PROVIDE WATER LINE STOP AND CUT OFF FOR ICE MAKERS.
9. PROVIDE WATER LINE STOP AND CUT OFF FOR ICE MAKERS.
10. VERTICAL MECHANICAL CHANGES IN UNITS TO BE FRESH DRYED.
11. VERIFY ALL TUNNELL LENGTHS W/ ACTUAL TUB ROUNDED.
12. COORDINATE W/ FRAMER, MANUFACTURER & TYPICAL TUB DETAILS.
13. ALL UNITS ARE TO MEET THE REQUIREMENTS OF THE HUD FAIR HOUSING GUIDELINES UNLESS ON AN ABOVE GRADE FLOOR NOT OTHERWISE NOTED.
14. REFER TO A3.1 FOR TYPICAL INTERIOR DETAIL STANDARDS. REFER TO A3.2 FOR TYPICAL INTERIOR DETAIL STANDARDS. REFER TO A3.3 FOR TYPICAL INTERIOR DETAIL STANDARDS. REFER TO A3.4 FOR TYPICAL INTERIOR DETAIL STANDARDS.
15. ALL WALLS TO MEET ICF UNLESS AS A MINIMUM UNLESS SHOWN OTHERWISE.
16. X-BATH IS TO HAVE REFER TO HUD FAIR HOUSING BATHROOM STANDARDS.
17. WASHROOMS IN PAIR HOUSING UNITS AT THE GROUND FLOOR AND ALL UNITS ON AN ACCESSIBLE FLOOR ARE TO BE CONSIDERED AS ACCESSIBLE UNITS. REFER TO A3.2 FOR DETAILS.

UNIT LU-3 TOTAL NET AREA = 1469 SF.



UNIT LU-3 - 1ST FLR FLOORFINISH PLAN
 SCALE: 1/4" = 1'-0"
 9/18 SF



UNIT LU-3 - 2ND FLR FLOORFINISH PLAN
 SCALE: 1/4" = 1'-0"
 430 SF



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 LAMKIN RACHEL, INC.

PROJECT NO.:	KC
DATE:	11/11/09
DESIGN STAGE:	SCHEMATIC
SCALE:	AS SHOWN
DATE:	11/11/09
BY:	BRUCE RACHEL
CHECKED BY:	BRUCE RACHEL

REVISIONS

NO.	DATE	DESCRIPTION
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08016
A4-16A
 BUILDING TYPE /
 ELEVATIONS
 Y-02-18-08

FINISH LEGEND:

1	STANDARD GYPSUM JOINTS
2	VERTICAL METAL WALL PANEL
3	STEEL COLUMN - PRIME PAINT
4	PAINTED
5	STAINLESS STEEL
6	METAL MESH SCREEN
7	METAL CORNER
8	ALUMINUM WINDOW
9	METAL CORNER AND CHAMFER
10	METAL TRUSS
11	CONCRETE
12	METAL CORNER

COLOR SELECTION:

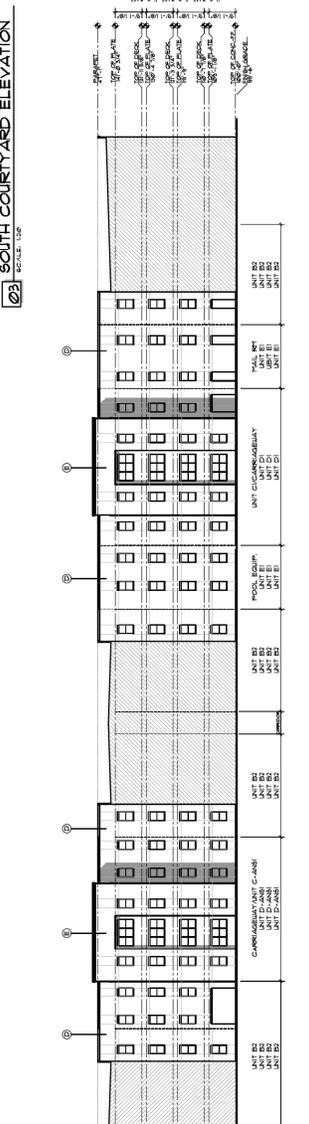
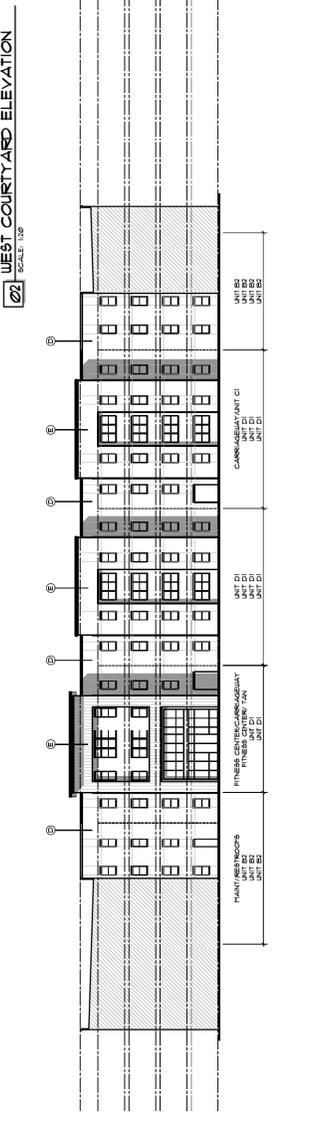
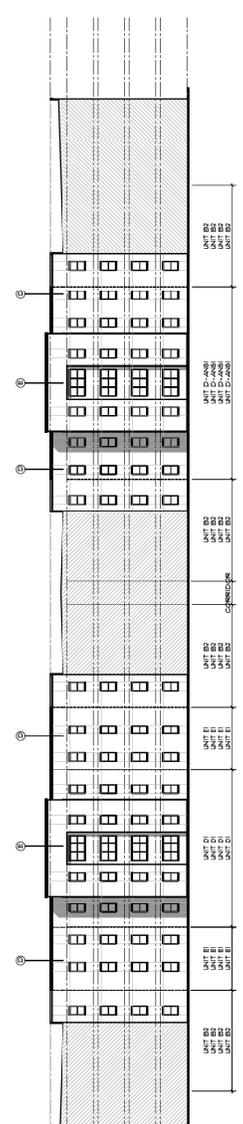
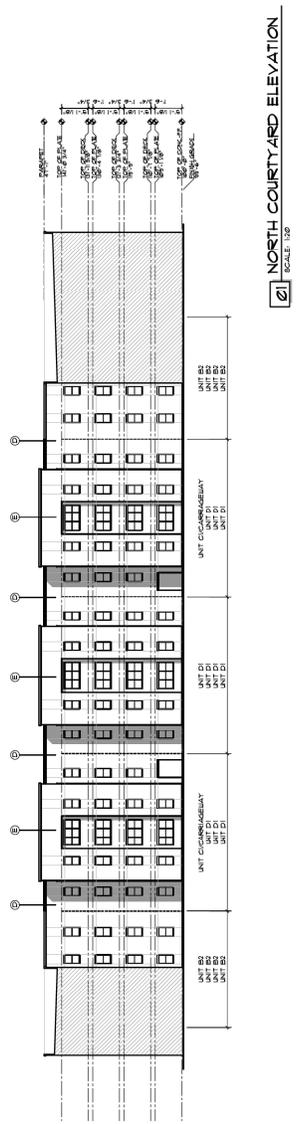
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FINISH LEGEND:

- 1 STUCCO IN CURTAIN JOINTS
- 2 VERTICAL METAL WALL PANEL
- 3 STEEL COLUMN - PRISMO R40
- 4 PAINTED
- 5 STAFFPORT
- 6 METAL MESH SCREEN
- 7 METAL CORING
- 8 ALUMINUM WINDOW
- 9 METAL SCOPER AND CORROSPUT
- 10 METAL TRILLES
- 11 CONCRETE
- 12 METAL CORNER

COLOR SELECTION:

- A SHERWIN WILLIAMS 7008 URBAN BRIDGE
- B SHERWIN WILLIAMS 7001 BROWNISH TAUPE
- C SHERWIN WILLIAMS 7002 IMPURE GOLD
- D SHERWIN WILLIAMS 7003 WARM STONE
- E SHERWIN WILLIAMS 699 SHERRIN WILLIAMS 699 ARTIFICIAL BRICK



PLANT MATERIAL LEGEND

KEY	SYMBOL	BOTANICAL/COMMON NAME	SIZE (Height, Canopy, + Caliper)
TREES			
①		Acacia salicina Willow Acacia	24' Box 8' 4' 1.5" 36' Box 14' 6' 2.5" Double-Staked Typ.
②		Eucalyptus pauciflora Ghost Gum Eucalyptus	24' Box 9' 4' 1.5" 36' Box 13' 6' 2.5" Double-Staked Typ.
③		Arecastrum romanzoffianum Queen Palm	24' Box 10' tall. min. Double-Staked Typ.
④		Parkinsonia hybrid 'Desert Museum'	24' Box 7.5' 4' 1.5" 36' Box 10' 8' 2.5" Double-Staked Typ.
⑤		Dalbergia sissoo Sissoo	24' Box 10' 4' 1.5" 36' Box 12' 8' 2" Double-Staked Typ.
⑥		Fraxinus v. 'Rio Grande' Rio Grande Ash	24' Box 10' 4' 1.5" Double-Staked Typ.
⑦		Jacaranda mimosifolia Jacaranda	24' Box 9' 4' 1.5" 36' Box 10' 5' 2" Double-Staked Typ.
⑧		Thevita peruviana Yellow Oleander	24' Box 9' 4' 1.5" 36' Box 12' 6' 2.5" Double-Staked Typ.
⑨		Olea europaea 'Swan Hill' Swan Hill Olive	24' Box 8' 5.5' 1.5" 36' Box 12' 10' 3" Double-Staked Typ.
⑩		Phoenix dactylifera Date Palm	15'-25' Tall. See plan For Specifics
⑪		Prosopis hybrid 'Phoenix' Thornless Hybrid Mesquite	24' Box 8' 4' 1.5" 36' Box 10' 8' 2.5" Double-Staked Typ.
⑫		Prunus cerasifera 'atropurpurea' Purple Leaf Plum	24' Box 9' 4' 1.5" 36' Box 13' 10' 2.5" Double-Staked Typ.
⑬		Pinus eldarica Mondel Pine	24' Box 10' 4' 2" 36' Box 15' 5' 4" Double-Staked Typ.
⑭		Quercus virginiana Heritage Live Oak	24' Box 9' 4' 1.5" 36' Box 13' 8' 2.75" Double-Staked Typ.
⑮		Ulmus parvifolia Evergreen Elm	24' Box 8' 3' 1.5" 36' Box 14' 8' 2.5" Double-Staked Typ.
⑯		Washingtonia robusta Mexican Fan Palm	15'-25' Tall. See plan

CITY NOTES

- ALL SHRUB AND GROUND COVER PLANTINGS WILL FOLLOW THE FOLLOWING
- 0 TO 6' MAXIMUM HEIGHT OF MATURE SHRUBS WILL BE NO MORE THEN 2' FEET
 - 6' TO 8' MAXIMUM HEIGHT OF MATURE SHRUBS WILL BE NO MORE THEN 3' FEET
 - 8' AND ABOVE HEIGHT OF MATURE SHRUBS WILL BE 3' FEET AND UP
- ALL LIGHT POLES WILL NOT BE PLACE ANY CLOSER THEN 15' TO THE TRUNK OF THE TREE
- ALL PLANTING WILL BE WATERED WITH AN AUTOMATIC IRRIGATION SYSTEM UTILIZING LOW ANGLE SPRAY HEADS FOR TURF AREAS AND EMITTERS FOR ALL OTHER PLANT MATERIAL THIS SYSTEM WILL BE FED BY IT'S OWN WATER METER.
- ALL TREES TO HAVE A MIN. CALIPER OF 1.5"

1949 E. UNIVERSITY DR.

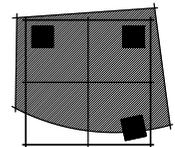
JLB PARTNERS

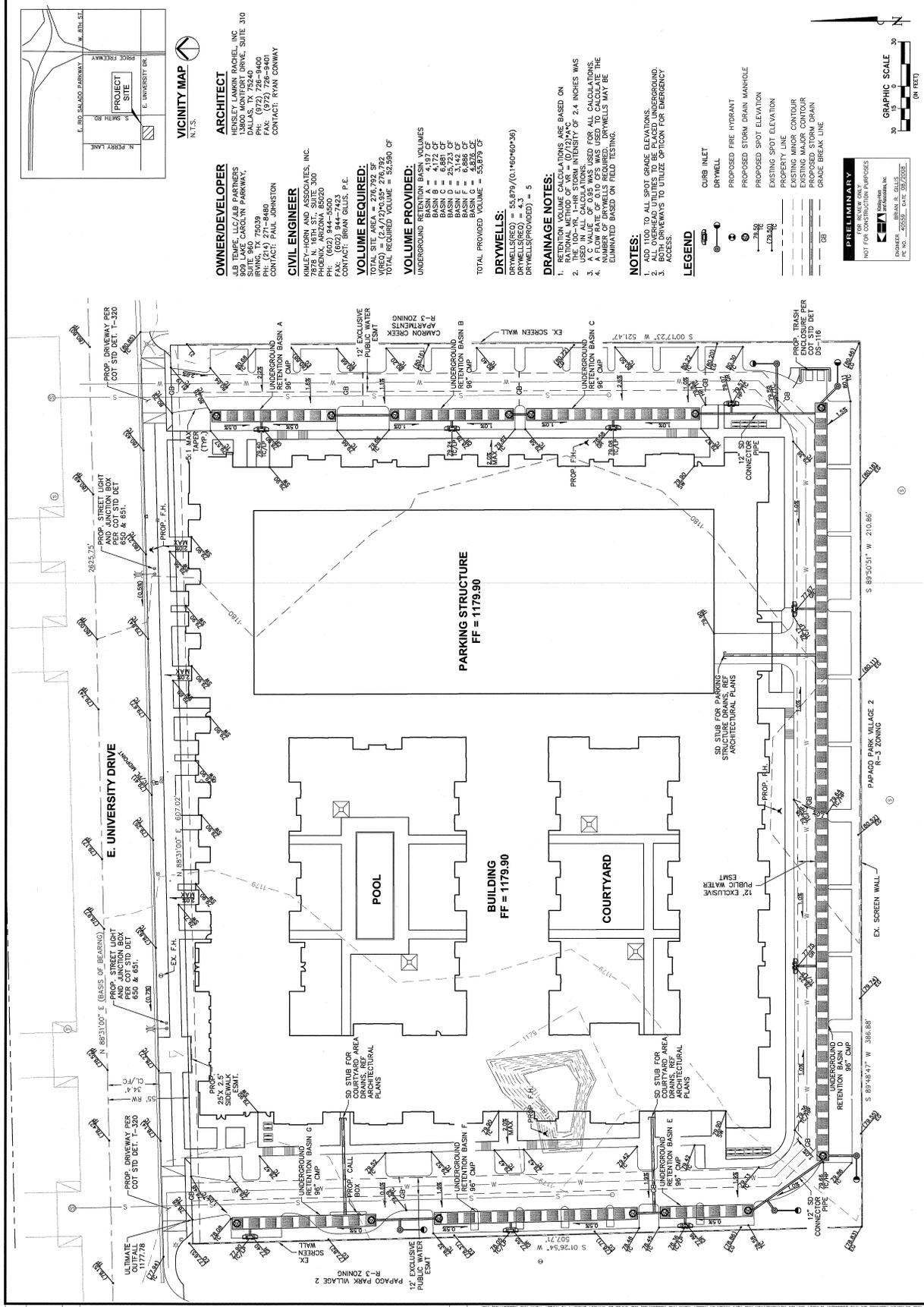
PROJECT/ CASE # SPR-08007
EXISTING R-4 (PAD)
SECTION: 24 N ZONING: PROPOSED MU-4 (PAD)
1949 E. UNIVERSITY DR.
TEMPE, ARIZONA

Hensley Lamkin Rachel, Inc.
ARCHITECTURE AND PLANNING

SUITE 600
75254
FAX 972 726-9401

14881 QUORUM DR.
DALLAS, TEXAS
PH 972 726-9400





REV.	DESCRIPTION	DATE