

Staff Summary Report

Development Review Commission Date: 06/12/07

Agenda Item Number: 6

SUBJECT: Hold a public meeting for a Development Plan Review for CVS PHARMACY #9205 located at 802 South University Drive

DOCUMENT NAME: DRCr_C.V.S.MillUniv_061207

PLANNED DEVELOPMENT (0406)

SUPPORTING DOCS: Yes

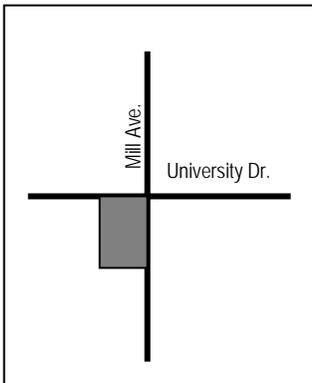
COMMENTS: Request for **CVS PHARMACY #9205 (PL060561)** consists of a +/- 15,623 s.f. pharmacy retail building on +/- 0.94 net acres in the CC, City Center District. The request includes the following:

DPR07072 – Development Plan Review including site plan, building elevations, and landscape plan.

PREPARED BY: Kevin O’Melia, Senior Planner (480-350-8432)
REVIEWED BY: Lisa Collins, Planning Director (480-350-8989) *LC*
LEGAL REVIEW BY: N/A
FISCAL NOTE: N/A

RECOMMENDATION: Staff – Approval, subject to conditions 1 - 32.

ADDITIONAL INFO:



Gross/Net site area	+/- 0.94 acres (40,847 sf.)
Building area	+/- 15,623 s.f. (13,013 sf. 1st, 2,610 sf. mezzanine)
Lot Coverage	32 % (13,013 / 40,847), 100 % max. cover allowed
Building Height	31.5 ft. (50 ft. maximum allowed)
Building setbacks	10.0 ft. front (University), 15.0 ft. streetside (Mill), +/- 37.0 ft. west side, +/- 131.0 ft. rear (0 ft. min. setback allowed all sides)
Landscape Coverage	7 % (0 % minimum cover allowed)
Vehicle Parking	36 spaces (allowed in accordance with D.D.A.)
Bicycle Parking	4 spaces (1 per 7,500 sf. Retail, 4 min. required) not including the 2 existing bus stop spaces

A pharmacy replaces a vacant site (formerly a Mobile self service fuel station) and two small retail/restaurant buildings. The building includes materials such as brick and features a covered sidewalk colonnade that evokes buildings in the downtown. The pharmacy has a corner entrance that faces the Mill and University intersection. A second business entrance is to the south to serve users of site parking as well as neighborhood pedestrians.

C.V.S. and the City have reached a development agreement that includes a vehicle parking reduction from 52 to 36 spaces.

A (non-required) neighborhood meeting was held on 5/30/07. Input included support for the pharmacy but criticism of displacement of existing, viable businesses. Cross access, shared parking and centralized refuse was suggested between adjacent commercial sites at the corner to reduce overall parking, driveway quantity and increase lease area for business tenants.

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ATTACHMENTS:

- A. Location Map
- B. Aerial Photo
- C. Architect's Letter of Explanation (3 pages)
- D. Site Plan (sheet 1 of 2)
- E. Project Data
- F. Enlarged Site Plan
- G. Site Key Construction Notes
- H. Main Floor and Upper Floor Plans (sheet A1.1)
- I. Building Sections (sheet A-2.1)
- J. Building Elevations (sheet A4.1)
- K. Existing Bus Stop East Elevation in Relation to C.V.S.
- L. Enlarged Landscape Plan (sheet L1.0)
- M. Plant Legend & Landscape General Notes
- N. Landscape Key Construction Notes
- O. Grading and Drainage Plan (sheet 2 of 2)
- P. Color Presentation Exhibits (5 pages)

COMMENTS:

Overview

The applicant is requesting approval of a Development Plan for a freestanding pharmacy/retail building at the southwest corner of Mill Avenue and University Drive. The building volume is a tall one story, including 13,013 s.f. of main merchandise floor, with a storage mezzanine above on the west side. Overall, the building is a 15,623 s.f. area on a site of 0.94 acres.

Project Analysis

Site existing condition -- Development will entail demolition of the two buildings at 808 and 820-824 South Mill Avenue--the University Realty and Mill Plaza Buildings. Building and canopies have already been removed from the site at 802 South Mill Avenue, except notably for an existing art bus stop canopy on Mill Avenue. This art canopy will remain in place during construction.

Site, historic condition – There was originally an east-west alley from Maple to Mill which extended between the 808 and 820 S. Mill Avenue buildings. During the Continental Trailways Depot era, buses would turn west from Mill and enter the Maple-Ash neighborhood on 9th, then turn north into the alley that is parallel and between Mill and Maple, then turn east from alley and rest at the entrance of the Depot at 820 South Mill Avenue, then exit the site onto Mill after embarkation and departure of passengers.

The architect has the pharmacy front Mill and University with a colonnade and corner entrance, similar to the Laird and Dines Pharmacy of an earlier era. A driveway extends to the west and south, connecting Mill and University. A single lane pick up window is on the west, near the southwest corner. Parking is to the south. A second, recessed entrance faces this parking and the neighborhood.

Staff has imposed a condition of site design to shelter the neighborhood from vehicle traffic. A view fence with pedestrian gate is placed adjacent to the alley in order to prohibit vehicle access between the neighborhood and the alley. Vehicle traffic, including delivery, solid waste and emergency response trucks as well as customer and employee automobiles are required to enter and exit the site via Mill and University. Pedestrian traffic through the alley to the site is maintained.

The building is essentially a rectangular volume with a long north-south axis. As mentioned earlier, there are two public entrances. One entrance is at the Northeast building corner, facing directly into the Mill-University intersection. The second entrance is on the south elevation, near the Southeast corner, facing the parking area and serving the pedestrian cut through to the alley. Colonnades supporting cantilevering shade canopies along the arterial sidewalks at Mill and University connect the streets to the storefronts. The canopy on the Mill Avenue side also serves to expand the wait area of the existing bus stop. The canopies project into the public right of way, subject to restrictions of the Public Works Department.

The architecture is modern and freely borrows elements of neighboring edifices, including variations of the Ruby Tuesdays colonnade and canopy system, the Centerpoint brick veneer and the Gordon Biersch corner drum above a diagonal entrance. The materials include a terra cotta masonry block on the greater portion of the elevations that relates to the brick elements found through the downtown section of Mill Avenue, tinted frosted green glass at the drum above the Northeast entrance that allows dramatic back lighting, clear anodized aluminum panels at the canopy fronts and portions of the upper elevations that relate to the existing bus stop, an integral color (parched) concrete water table, translucent acrylic burgundy individual letter sign faces, and a very light green, lightly textured exterior plaster that finishes the columns and the lesser portions of the elevations. The composition, again, which dresses essentially a simple form, is skillfully done.

Public Input

The site is within the boundary of the Northwest Tempe Strategic Plan and is within the boundary of the draft Northwest Tempe Community Plan.

Although not required, the Design/Development team held a neighborhood meeting at Gilleland Middle School on the evening of May 30, 2007. Three citizens attended the meeting, including a Maple-Ash neighborhood resident and nearby property owner, an employee of NYC Barber Shop (822 S. Mill), and the tenant owner of the Sahara Restaurant (808 S. Mill). In the Development team's power point presentation, emphasis was placed on use of materials and architectural elements that are found in nearby buildings and note was made of the transition in building scale on this site from tall structures north of University, including Centerpoint, to the one and two stories of the Maple Ash neighborhood. The exchange is as outlined below:

Citizen points include:

- Project reviewed with reference to the Northwest Tempe Community Plan.

Pros

- Thrilled about pharmacy/service addition to downtown and Maple Ash communities.
- The neighborhood scale of the project is appropriate.
- Orientation of store to streets is appropriate
- Second entrance with pedestrian alley connection is convenient to Maple-Ash neighborhood.
- Canopy trees provide shade on street sidewalks

Cons

- Presence of a vehicle drive thru / pick-up window is at odds with Northwest Community plan
- The site is not "maximized" with respect to its neighbors. Amount of parking appears excessive. Approximately 100 ft. parking frontage on Mill Avenue appears wasteful in an urban environment.
- Quantity of curb cuts for driveways, although less than at present (three along Mill and two along University), could potentially be reduced further by shared access between proposed C.V.S. and neighboring properties to south and west.

Conclusion

- Consider developing the plan to share parking, access and refuse collection with neighbors to south (Super Cuts) & west (Burger King) in order to cut down on parking between the three sites & potentially open up a separate pad that could house another use, such as an alternate location for Sahara Restaurant. Supercuts parking lot is typically under-utilized. Additionally, consider a soda fountain or small lunch shop overlooking the intersection above the Northeast entrance.

Design/Development Team points include:

- CVS willing, for this site, to reduce parking count below city minimum parking ratio (refer to the D.D.A. between C.V.S. and the City of Tempe) as well as to reduce the size of individual parking spaces below corporate standard.
- CVS wants to use entire property, not develop part for CVS & reserve part for another business.
- Present site layout reduces driveway curb cuts from two to one on University Drive and from three to one on Mill Avenue.
- Design/development team has pursued cross access with Burger King but found Burger King to be unreceptive to the idea.
- C.V.S. agrees to a see-through fence that prevents vehicle traffic from entering or exiting site via alley to west, thereby curtailing CVS vehicle traffic into neighborhood.
- Design/Development Team representative willing to communicate with Sahara Restaurant tenant owner regarding sale of Murphy parcel & schedule of redevelopment of site.
- Design/development team is not receptive to shared parking and combined refuse storage/collection concepts between this site and adjacent sites to south and west, and, as mentioned above, has been refused on cross access with property to west, but is willing to continue discussion with citizens.
- Design/development Team not receptive to 2nd story soda fountain or lunch counter in the drum element above main entrance facing Mill & University intersection.
- Design/development Team have agreed with City Public Works to retain the existing bus stop in place. Additional seating will supplement bus stop seating under the Mill Avenue colonnade.
- Design/development team explained windows on Mill & University are display windows (opaque) below & are clear glass above.

Summary

- Design/development team understands neighbors are generally in support. While the concept linking several sites is intriguing, the team is unable to pursue citizen comments regarding site “maximization” and development of reserve pad or upper floor tenant space for secondary businesses on site.
- Citizen is in support of pharmacy/retail use but may pursue with Mayor and City Council the idea of shared parking, refuse pickup and cross access between the three sites as part of this development. Citizen hopes to bring government and neighborhood interests together to affect this evolution of the present site plan into one that maximizes site use. Citizen does not want CVS, Burger King and Supercuts to have less, but believes that a maximized, integrated site can have a positive benefit for both the neighborhood & the corporations involved.

Staff Conclusion

This proposal is consistent with the General Plan 2030 Projected Land Use. The proposal is a welcome and needed addition to the downtown as well as the adjacent residential neighborhood. Following the “Economic” element of the Northwest Tempe Neighborhood Strategic Plan, this proposal “encourages growth of stable employment opportunities and provides basic goods and service businesses” for the vicinity. The proposal fits well the “Urban Design and Neighborhood Character” element of the Northwest Tempe Neighborhood Strategic Plan, providing architecture that “relates to street character and activity,” providing widened, landscaped sidewalks and placement of “parking to side and rear of building, rather than in front.”

Staff recognizes the merit of the shared site concept between adjacent commercial sites as was offered in the neighborhood meeting. However, there is time to flexibly consider and implement this concept as the sites adjacent to C.V.S. redevelop. Staff recommends approval of the request for the Development Plan.

REASONS FOR APPROVAL

1. The project meets the General Plan Projected Land Use for this site.
2. The project conforms to the major elements of the draft Northwest Tempe Community Plan and the Northwest Tempe Neighborhoods Strategic Plan.
3. The project will meet the development standards required under the Zoning and Development Code except as modified by the Development Agreement (principally a parking reduction) enacted between C.V.S. and the City of Tempe on May 31, 2007.

DPR 07072

CONDITIONS OF APPROVAL

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. DEVELOPMENT REVIEW COMMISSION MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS. THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCE THAT PLANNING STAFF OBSERVES ARE PERTINENT TO YOUR CASE. THE BULLETED ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT. THESE ITEMS ARE NOT AN EXHAUSTIVE LIST.

General

1. Your drawings must be submitted to the Development Services Building Safety Division for building permit by **June 12, 2008** or Development Plan approval will expire.
 - For the canopies that overhang the public right of way, obtain an encroachment permit from the Public Works Department prior to submittal of construction documents for building permit. Provide removable feature for canopies under 14'-0" in height that are within the right of way, subject to Public Works requirements.
 - Provide a subdivision plat to unify the various parcels for this development. Put plat into proper format for processing and recordation. Record the subdivision plat with Maricopa County prior to issuance of building permit. The subdivision plat shall include, but not be limited to, the following:
 - Abandon the narrow east-west alley remnant that crosses the property.
 - Provide a 5'-0" wide sidewalk easement in lieu of a 5'-0" wide right of way dedication along Mill Avenue, subject to Public Works requirements.
 - Provide a site specific legal description.
 - Protect and maintain existing Mill Avenue bus stop in place throughout construction period. Contact Public Works Transportation Division (eric_iwersen@tempe.gov) if questions regarding the bus stop.
 - Resolve the location of the traffic signal switchgear in front of the Northeast building entrance. Contact Public Works Engineering Division (steve_horstman@tempe.gov) to initiate process if relocation of this equipment is desired.
 - Verify all comments by the Public Works Department, Development Services Department, and Fire Department given on the Preliminary Site Plan Reviews dated **September 8, 2006 and April 18, 2007**. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Department will be reviewed by planning staff to ensure consistency with this Development Plan approval prior to issuance of building permits.
 - Under an agreement between the City of Tempe and the State of Arizona, Water Conservation Reports are required for landscape and domestic water use for this project. As applicable, have the landscape architect and the mechanical engineer prepare reports and submit them with the construction drawings during the building plan check process. Report example is contained in Office Procedure Directive # 59, available from Building Safety (480-350-8341). Contact Water Resources (pete_smith@tempe.gov) if there are any questions regarding the purpose or content of the water conservation reports.
 - The project site does not have an Archaeologically Sensitive designation. However, State and Federal laws apply to the discovery of features or artifacts during site excavation (typically, the discovery of human or associated funerary remains). Where such a discovery is made, contact the Arizona State Historical Museum (520-621-6302) for removal and repatriation of the items. Contact the Tempe Historic Preservation Officer (joe_nucci@tempe.gov) if questions regarding this process.
 - Security Requirements:
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- Design building entrances to maximize visual surveillance of vicinity. Limit height of walls or landscape materials, and design columns, corners and pedestrian passage to neighborhood to discourage opportunity for ambush. Provide clear distance of 20'-0" or greater between a pedestrian path of travel and any hidden area to allow for increased reaction time and safety.
- Follow the design guidelines listed under the ZDC, Appendix A. In particular, reference the C.P.T.E.D. principal listed under A-II Building Design Guidelines (C) as it relates to the location of pedestrian environments and places of concealment.
- The owner may be required to prepare a security plan for an all-hours open pharmacy/retail facility with the Police Department (derek_pittam@tempe.gov). Include architect in the owner/police meeting to verify any modification that would require revisions to the building or site design. To avoid revisions to permitted construction documents, initial meeting with the Police Department regarding the security plan is recommended before building permits are issued. Owner/Police contact should begin, at a minimum, approximately eight weeks prior to receipt of certificate of occupancy.
- Specific requirements of the **Zoning and Development Code** are not listed as a condition of approval, but will apply to any application. To avoid unnecessary review time, and reduce the potential for multiple plan check submittals, it is necessary that the applicant be familiar with the Zoning and Development Code (ZDC), which can be accessed through www.tempe.gov/zoning, or purchased at Development Services.
- Standard Details:
 - Tempe Standard "T" details may be accessed through www.tempe.gov/engineering or purchased from the Engineering Division, Public Works Department.
 - Tempe Standard "DS" details for refuse enclosures may be accessed through www.tempe.gov/bsafety (go to Applications and Forms, then go to Civil Engineering and Right of Way to find refuse details) or obtain copies of details at Development Services.

Site Plan

2. Identify and remove the short masonry storage shed on the west edge of the property. Refer to the A.L.T.A. survey for location.
3. Site walls, match the building finish as indicated:
 - a. Construct the parking lot screen walls of exposed masonry.
 - b. Finish the C.V.S. refuse enclosure and the masonry pilasters of the view fence with exterior plaster on all sides, edges and top.
4. Landscape Islands
 - a. Remove transformer from landscape island at southwest corner of building. Place transformer elsewhere on site, such as on the north side of the refuse enclosure. Alternately, reconfigure the island so a minimum 120 sf. of planting area is created alongside the transformer. In this case, coordinate tree installation with transformer clearance requirement.
 - b. Provide a landscape island at the southeast corner of the building at the east end of the parking row, similar to as indicated on the landscape plan.
 - c. At the southwest site corner, provide landscape island that is the full length of the adjacent parking space.
5. Install a minimum 6'-0" high steel vertical picket fence along the west property line adjacent to the alley. Extend this barrier from the southwest property corner north along the east side of the alley to the C.V.S. refuse enclosure, and extend east from the southwest property corner along the south property line to the point nearest the northern tip of the Supercuts refuse enclosure. Provide a 3'-0" minimum to 4'-0" maximum wide pedestrian opening in the fence on the south side of the refuse enclosure. Flank this opening with masonry pilasters. Provide a masonry pilaster at the south end of the fence at the southwest site corner and at the east end of the fence adjacent to Supercuts refuse enclosure.

6. Provide steel vertical picket fence and gate panels of design that resist bending and have only two horizontal rails (top and bottom) to inhibit climbing. Extend pickets above top rail to further inhibit climb over. If refuse enclosure gate pair is provided, construct gate panels of steel vertical pickets, matching fence design, combined with steel mesh or vertical slats of design that inhibit climb over and allow visual surveillance through gates when up close.
7. Install the fence on a continuous, minimum 8" wide concrete curb that is flush with the top of adjacent landscape island curbs and interrupts asphaltic concrete paving between the alley and the site. Extend an 8" wide concrete curb along the full length of the southern border of the site to contain the existing Supercut's lawn.
8. Align center of freestanding light bases south of parking lot with parking space stripes.
9. Replace brick sidewalks for pedestrian paving in public right of way, including particularly patched and unevenly settled areas of brick paving. Extend brick sidewalks on site to the base of the south and east elevations. Follow Public Works Department Detail T-353 for sidewalk and tree grate for design of sidewalk areas in the right of way, except use long (12'-0" by 4'-0") grate detail following installation example on Mill Avenue. Position tree grates, bike racks for 2'-0" by 6'-0" bike parking, and any site furnishings so there is a minimum 8'-0" clear, continuous path alongside the street building elevations, except provide width reduction as allowed by Public Works at the existing bus stop. Alternative unit paving may be considered, subject to review and approval by Public Works and Planning. Utilize alternative patterns in small amounts to create accent areas at entrances, or to demarcate architectural features of the building. Do not propose a wholesale change of material. Provide paving materials that are compatible with accessibility provisions of the Americans with Disabilities Act and the Building Code.
10. Provide architecturally design scored, integrally colored concrete walkway paving on site, except as indicated in the condition above.
11. Provide upgraded paving at each driveway apron consisting of brick paving that matches the material used for the sidewalks. Extend unit paving in the driveway from the back of the accessible public sidewalk bypass to 20'-0" on site and from curb to curb at the drive edges, as indicated.
12. Place exterior, freestanding reduced pressure and double check backflow assemblies in pre-manufactured, pre-finished, lockable cages (one assembly per cage). If backflow prevention or similar device is for a 3" or greater water line, delete cage and provide a masonry screen wall following the requirements of Standard Detail T-214.
13. Finish utility equipment boxes for this development in a neutral color (subject to utility provider approval) that compliments the coloring of the building.
 - Clearly indicate property lines and the dimensional relation of the building to the property lines. Resolve the final location of the west property line so the Architectural Site Plan and the Grading and Drainage Plan agree with the A.L.T.A. Survey and the Landscape Plan.
 - Clearly delineate the fire lane around the south and west of the building. Ensure that there is at least a 20'-0" horizontal width and a 14'-0" vertical clearance from the fire lane surface to the underside of tree canopies or other overhead obstruction. Layout of fire lane subject to approval of the Fire Department (jim_walker@tempe.gov).
 - Underground utility extensions to building. Coordinate site layout with utility providers to provide adequate access easements. Coordinate location of structures such as refuse enclosure and sub-surface retention tanks to avoid easements. Coordinate landscape layout to avoid planting trees in easements. Verify location of any easements or property restrictions to ensure no conflict exists with the site layout or

foundation design.

- Refuse:
 - Construct walls, pad and bollards of enclosure in conformance with Standard Detail DS-116. Place rear wall of enclosure on west property line.
 - Gate pair for refuse enclosure is not required. If gate pair is provided, the property manager must arrange for gates to be open from 6:00am to 4:30pm on collection days.
- Remove existing driveways. Construct wing driveways in public right of way in conformance with Standard Detail T-320 as indicated or alternately, construct return driveways in accordance with Standard Detail T-319, subject to approval of the Traffic Engineer (shelly_seyler@tempe.gov).
- Continue to indicate clear vision triangles for both driveways on the site and landscape plans. Identify speed limits for adjacent streets at the site frontages. Do not locate site furnishings, screen walls or other visual obstructions over 2'-0" tall (except canopy trees are allowed) within each clear vision triangle.
- Parking spaces:
 - Adjust layout of south parking lot so south columns do not encroach into the 2'-0" parking space overhang
 - Verify conformance of accessible vehicle parking to the Americans with Disabilities Act of 1990 (42 U.S.C.A. §12101 ET SEQ.) and the Code of Federal Regulations Implementing the Act (28 C.F.R., Part 36, Appendix A, Sections 4.1 and 4.6). Refer to Standard Detail T-360 for parking layout and accessible parking signs.
 - Protect and maintain existing brushed steel bike parking hitching posts that are part of bus stop. These hitching posts may not be counted as fulfillment of the required bike parking for the building.
 - Locate bike parking areas near the building entrances. Bike parking may be split between the two business entrances or may be clustered near the south entrance. Provide parking loop/rack per standard detail T-578. Provide 2'-0" by 6'-0" individual bicycle parking spaces. One loop may be used to separate two bike parking spaces. Provide clearance between bike spaces and adjacent walkway to allow bike maneuvering in and out of space without interfering with pedestrians, landscape materials or vehicles nearby. Bike parking may encroach into the 20'-0" parking setback.

Floor Plans

14. Single User Restroom Security:

- a. Provide 50% night light and activate light by key or remote control mechanism.
 - b. Provide a key bypass on the exterior side of the door.
- Service Door Security: equip service door on west elevation with two 360 degree viewers that can be used from the interior in a standing or seated position. Have viewers conform to requirements of the A.D.A. Center the viewers vertically in the door.

Building Elevations

15. At the fire department connection indicated on the Mill Avenue side of the east elevation, conceal the piping within the building.
16. Design an enclosure for the service entrance section and gas meter on the west elevation that removes the recess south of the S.E.S which could otherwise be used as a hiding place. The recessed loading dock door is acceptable.
17. Provide main colors and materials with a light reflectance value of 75 percent or less. Specific colors and materials exhibited on the materials sample board are approved by planning staff. Submit any additions or

modifications for review during building plan check process. During construction, planning inspection staff will field verify colors and materials.

18. Provide secure roof access from the interior of the building. Do not expose roof access to public view.
19. Conceal roof drainage system within the interior of the building. Minimize visible, external features, such as overflows, exit drains and splash blocks, and where needed position and design these to enhance the architecture of the building.
20. Incorporate lighting, address signs, incidental equipment attachments (alarm klaxons, security cameras, fire department connection, etc.) where exposed into the design of the building elevations so that the architecture is enhanced by these elements.
21. Surface mount conduit and piping is not allowed unless a creative conduit surface design that compliments the architecture is reviewed and approved separately by the Development Review Commission.
 - Measure building height from University Drive top of curb in center front of property.
 - Take care to fully conceal roof mounted mechanical units on all four sides with parapets; do not allow the lowest part of the parapet to be lower than the top of the highest piece of roof equipment.

Lighting

22. Illuminate roll-up and pedestrian entrances continuously from dusk to dawn.
23. Back illuminate frosted glass drum above northeast building entrance, as indicated by night time perspective vignette of the Northeast entrance.
24. The demarcated surface in front of the roll-up door is a loading area; illuminate to minimum 4.0 foot-candles.
 - Follow requirements listed in the ZDC Part 4, Chapter 8 and in the guidelines listed in the ZDC under Appendix E "Photometric Plan." Observe limit of up-lighting walls and columns with fixtures that are non cutoff and non-filtered, otherwise, do not up light these surfaces.

Landscape

25. Landscape the western border of the site adjacent to the Burger King property. Staff recommends (does not require) that development protect and maintain the existing trees on site along this edge, consisting of two *Washingtonia robusta* opposite the Burger King drive thru and two *Thevetia peruviana* near the Burger King refuse enclosure. If they remain, incorporate these trees into the site landscape plan. Remove the heavily trimmed *Nerium oleander* hedge along the west property line if within the property line. Remove other existing plant material from site.
26. Protect and maintain existing *Eucalyptus speciosa* and *Rhus lancea* immediately south of this property on the Supercuts site. Do not damage or remove any off-site plant material except the palms in the right of way adjacent to the traffic light switch gear at the intersection.
27. Select *Cercidium Praecox 48"* box specimens for upright growth habit and uniform size and shape. Low branch multi-trunk specimens are not acceptable.
28. Provide one canopy tree and minimum five plant groundcovers in the landscape island at the southwest building corner.
29. Irrigation notes:

- a. A separate dedicated landscape water meter is recommended (not required) to separately measure landscape water and avoid a sewer charge on water used for landscape. Re-use of an existing water meter for this purpose may be allowed, subject to review by Public Works/Water Utilities (tom_ankeney@tempe.gov).
 - b. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use of schedule 40 PVC mainline and class 315 PVC ½" feeder line is acceptable. Class 200 PVC feeder line may be used for sizes greater than ½" (if any). Provide details of water distribution system.
 - c. Locate valve controller inside the building. Alternately, if the controller is in a freestanding location or on the exterior of the building, place the controller inside a lockable, vandal resistant housing and fully conceal the valve wire and power conduits.
 - d. Hardwire power source to controller (a receptacle connection is not allowed).
 - e. Repair existing irrigation systems on properties to north and west of this site where these systems are disturbed by this construction.
30. Include requirement in site landscape work to de-compact soil in planting areas on site and in public right of way and remove construction debris and excess rock from planting areas prior to landscape installation.
- Indicate the location of all exterior light fixtures on the site, landscape (and photometric) plans. Avoid conflicts with lights in order to maintain illumination levels for exterior lighting.
 - Coordinate tree locations with utility easements.

Signage

31. Provide 0'-6" high vinyl die cut address number on glazed transom above each entrance.
32. Provide one 0'-12" high address sign on each side of the masonry base of the monument sign (if any). Provide two 0'-12" high address signs, including one on the east near the southeast corner, centered on the masonry element, and one on the west near the southwest corner, centered above the drive thru window. Locate signs just below the parapet at uniform height on building. Do not address the north elevation since the site is not addressed on University Drive. Conform to the following for address signs described in this condition:
- a. Direct or halo illuminate the address signs.
 - b. Provide street number only, not the street name.
 - c. Compose of individual mount, metal reverse pan channel characters.
 - d. Adjust locations so sign is unobstructed by trees, vines, etc.
 - e. Do not affix another number or a letter that might be mistaken for an address number.
- Follow illumination and background contrast requirements of ZDC Sec. 4-903 (A).
 - This Development Review does not include review of the business signs. Separately obtain sign permit for any building mount or monument identification signs.
 - Directional signs (if proposed) may not require a sign permit, depending on size. Directional signs are subject to review by planning staff during plan check process. Follow ZDC Part 4 Chapter 9 with the design of the signs.

HISTORY & FACTS:

820, 822 & 824 South Mill:

- January 5, 1958 Building Permit issued for south and north building at 820, 822 and 824 South Mill Ave. (Gage Addition, Lot 7 and 8, Block 21) in the C-2, General Commercial District.
- September 15, 1969 The Board of Adjustment approved a use permit for Gino's Pizza to operate a bakery at 822 South Mill Avenue in the C-3, Central Commercial District. At this time the building housed Pete's Fish & Chips, Gino's and C.D. Hill's Office.
- 1969 Gino's Pizza use permit site plan indicates Brit Smith Datsun Motors occupied the southwest corner of Mill and University, including the 802 and 808 South Mill Avenue sites. A Veterinarian was located on the site of the Burger King.
- October 25, 1979 The Board of Adjustment approved the use permit for Trailways Inc. to operate a bus depot at 822 South Mill Avenue in the CCD Central Commercial District. This was the first of several use permits of one year time duration.
- February 20, 1980 The Design Review Board approved the building elevations, site plan and landscape plan for Mill Plaza (refurbishment) in the CCD, Central Commercial District.
- October 25, 1989 The Board of Adjustment approved a use permit for Pirate's Fish and Chips at 820 S. Mill Avenue in the CCD, Central Commercial District.
- July 29, 1992 The Design Review Board staff approved a paint color modification and Mill entrance awning addition for Saigon Healthy Deli at 820 South Mill Avenue

808 South Mill Avenue

- July 3, 1973 The Design Review Board approved building, landscaping and signs for the University Realty Office Building located at 808 South Mill Avenue in the C-3, Central Commercial District.
- July 14, 1975 The Board of Adjustment approved the use permit for the Office Building at 808 South Mill Avenue.
- August 20, 1975 The Design Review Board approved the building and landscaping for Office Building located at 808 South Mill Avenue in the C-3, Central Commercial District.
- February 21, 1992 The Hearing Officer approved the following by "808" S. Mill Café, located at 808 South Mill Avenue in the CCD, Central Commercial District:
- a. Use permit to allow a 1,146 s.f. restaurant in the CCD District (no live entertainment);
 - b. Variance to reduce the required off-street parking from 40 to 29 spaces to allow the 808 Mill Café restaurant use;
 - c. Variance to waive the required parking lot landscaped end stall islands.
- February 7, 1995 The Hearing Officer approved a use permit by Sahara Middle Eastern Restaurant to allow a 100 s.f. storage room addition located at 808 South Mill Avenue in the CCD, Central Commercial District.

802 South Mill Avenue:

- December 1, 1970 The Design Review Board approved building elevations for a Mobil Oil Self Serve Station located at 802 South Mill Avenue in the C-3, Central Commercial District.
- February 2, 1977 The Design Review Board approved building elevations and sign for Hi Val Gasoline (Mobil Oil) at 802 South Mill Avenue in the Central Commercial District.
- October 4, 1989 The Design Review Board approved the request for a site plan modification for Mobil Oil Service Station at 802 South Mill Avenue in the CCD, Central Commercial District.

Combined Site:

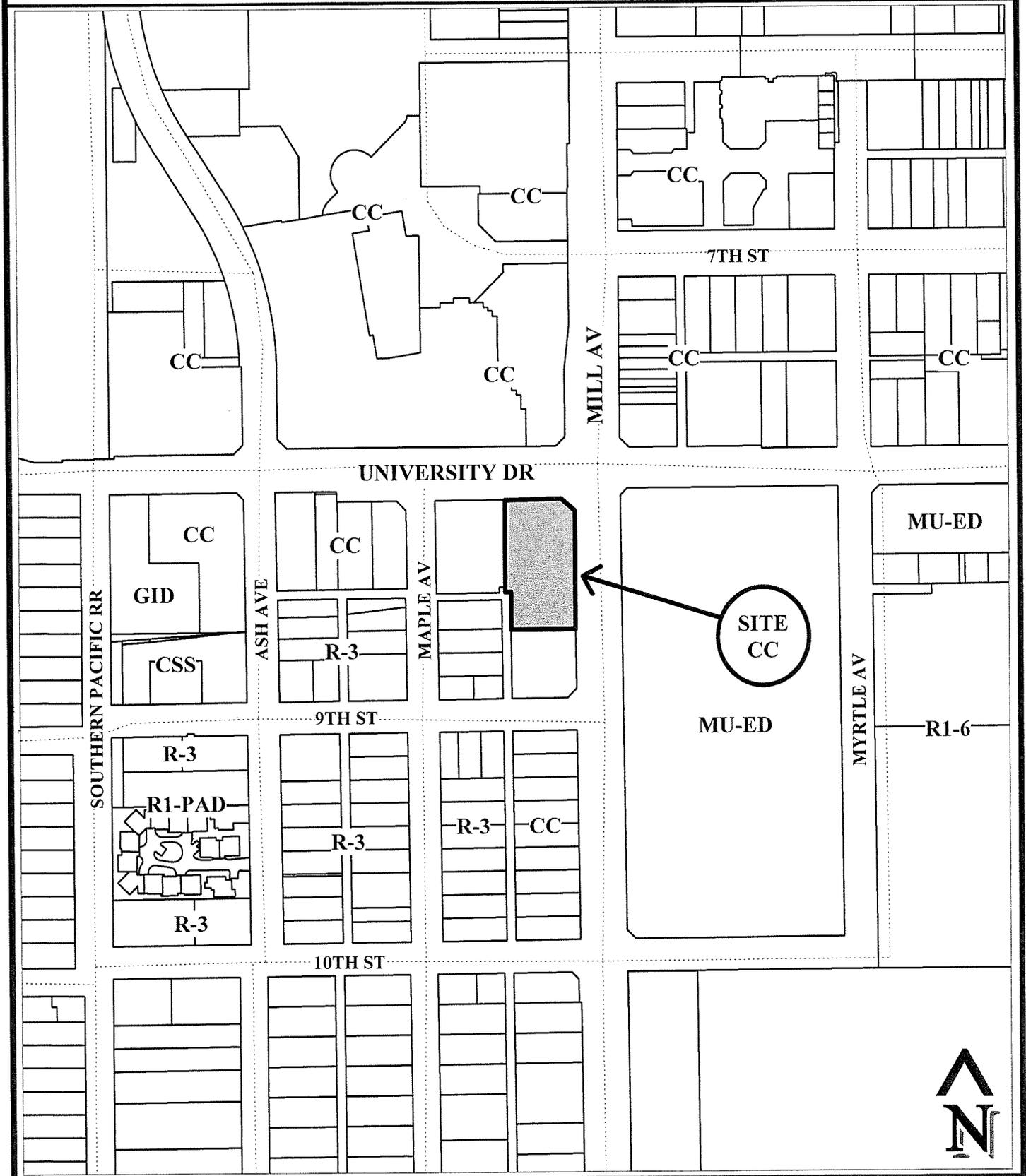
- May 31, 2007 The City Council approved the Development Agreement (Resolution No. 2007.47) with German Dobson CVS, L.L.C. with regard to a project located at the Southwest corner of University Drive and Mill Avenue.

ZONING AND DEVELOPMENT CODE REFERENCE:

Section 6-306, Development Plan Review

CVS PHARMACY #9205

PL060561



Location Map



CVS PHARMACY #9205 (PL060561)

Letter of Explanation



**SWC University Drive & Mill Avenue
Tempe, AZ**

This application requests Development Review Approval for an approximate .95-acre site located at the SWC University & Mill. CVS Pharmacy & Armstrong Development Properties Inc. proposes to develop this site with a freestanding 15,623 total square-foot neighborhood pharmacy. The existing site is currently zoned CC, City Center. This application proposes the construction of a CVS Pharmacy located at the southwest corner of this arterial intersection.

The proposed CVS Pharmacy site is careful to provide convenient customer parking, street recognition and access to the building. Elements that are a necessity in the operation of this type of business are adequately screened and placed with consideration of their visual impact for both the pedestrian, vehicular customer and passer by. The pedestrian walkways are linked to the existing sidewalks and are designed to integrate comfortably around the accessible site perimeter.

The parking areas defined in the site plan provide safe, well lighted and pleasant pedestrian access from the car to the proposed store. The site will allow for variations at the pedestrian level by incorporating the existing bus stop shelter, benches and the use of variety of landscaping, surface textures and materials.

The site has been designed to compliment the arterial intersection and provide safe and efficient circulation for vehicular traffic both into and out of the site. The loading/unloading area, trash receptacle and vehicular drive-thru are best positioned on the site based on accessibility by delivery trucks, patrons and refuse removal vehicles. These elements have been carefully placed and are fully screened from the public right-of way where applicable.

The exterior facades of the building incorporate a variety of features recommended by the City of Tempe Design Guidelines, including varied heights of roof lines, variations in the overall massing, building shapes, color and material selection and major features which relate to the overall development. The building design respects and acknowledges not only the nature of University Avenue and Mill Avenue as a major intersection in town, but the constructed environment around it.

MAY 22 2007

Architecturally, the overall theme includes the massing of the building in such a way as it is broken into “compartments” in much the same manner as you will find narrower individual buildings in an urban environment - each with their individual store front and each adding their own qualities to the overall streetscape. The proposed building additionally manifests vertical and horizontal offsets which create shade and shadow reinforcing both these architectural aspects of the building, but as well adding interest to the entire composition. The colors and materials derive from the surrounding developments and in some cases are in direct alignment with the surrounding built environment. (Masonry red brick, metal accent elements and sun screen elements, pre-cast concrete, etc.)

Care has been taken to create colonnade elements which reinforce both the need for human scaled elements associated with the building and also shade elements which provide both respite from the Arizona heat and building interest as well. The store front elements allow for the lighted interior to be expressed to the University and Mill pedestrian and someone in a vehicle that “We are open” and providing a safe and illuminated interior. In addition to movable advertising, the window display boxes afford the opportunity to explore changing visual displays reminding the viewer of the historical past of Tempe, as well as communicating current events of interest to visitor, resident and student alike.

The entry elements of the building include a raised and covered canopy which is supported by freestanding columns. Translucent back lit glass panels highlight both entries to the building. This entry feature provides protection from the elements and creates compatible architectural aspects for the corner and rear entry of the building. The exterior walls of the building are broken up with the use of metal clad panels, masonry and store front elements as described above. These elements provide visual variation to the wall planes and additional shade and shadow where the elements are in relief. Pre-cast concrete comprises each column and pilaster, the remainder of the exterior building finish is a mix of EIFS colors that is coordinated to match the varying colors of the overall building composition. The top of the exterior walls and the raised entry canopy are capped with moldings utilizing compatible coloring. The drive-thru canopy is similar to the sun screen elements on the other three sides of the building, but is a solid roof element.

The site and the building are well lighted for both safety and architectural effect. The parking area is lighted from pole fixtures and the building and sidewalk areas are lit by recessed soffit down-lighting and sidewalk / rooftop mounted up-lighting is proposed for various lighting effects at night. This lighting is located at various locations around the building. Specifically the undersides of the entry canopy and the drive-thru canopy are lighted by the use of recessed lighting fixtures mounted in the soffits of these elements.

A host of low water use desert landscaping is proposed. All plant material choices will generally comply the City of Tempe Landscape Design Guidelines and The Arizona Department of Water Resources guidelines to provide a combination of trees, shrubs and ground cover that will greatly enhance the aesthetics of the site and the surrounding area.

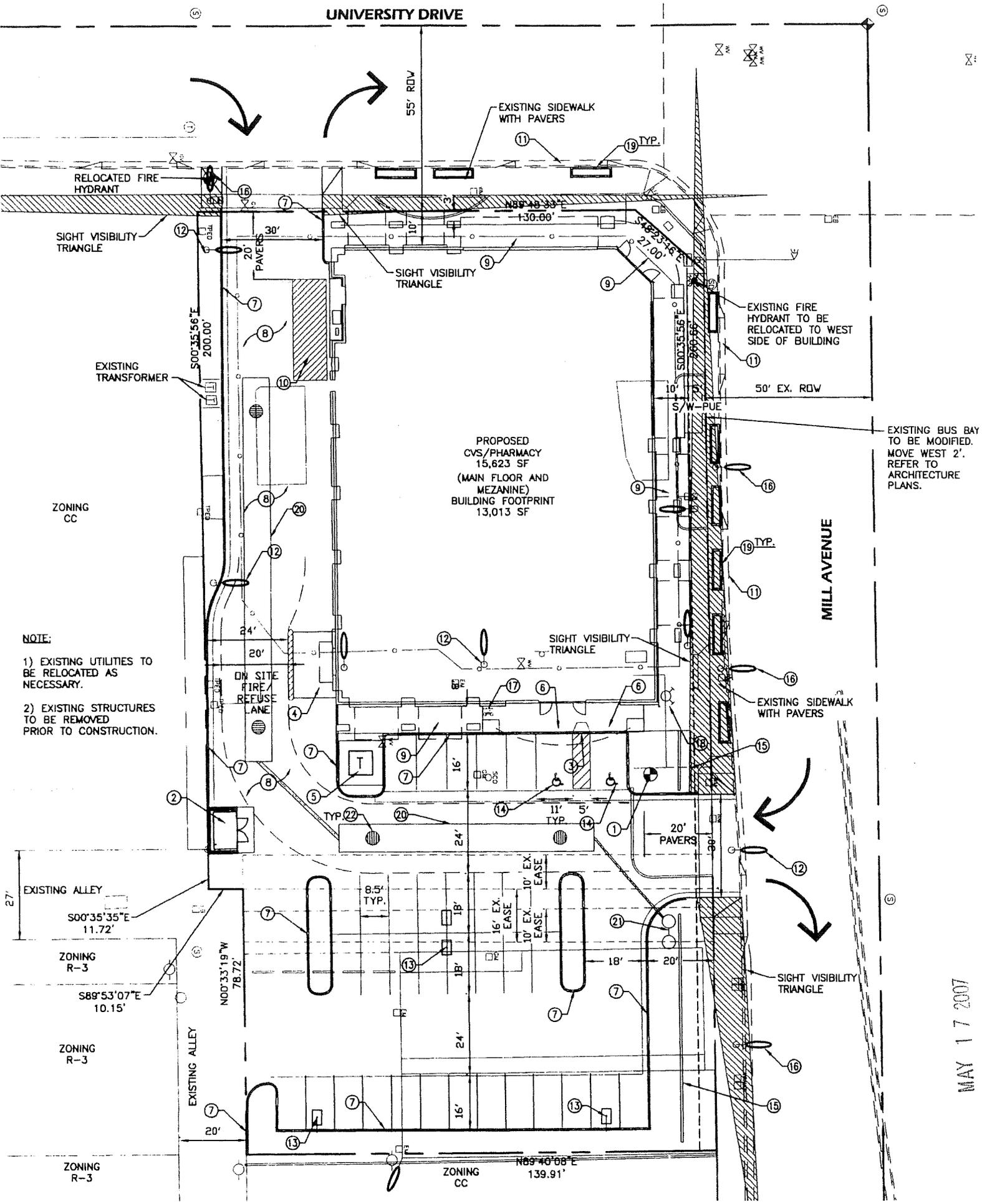
The proposed CVS Pharmacy is consistent with the goals and intentions of the current and anticipated development in this portion of The City of Tempe. In general, we believe that the corner, the City and those individuals will benefit from both the proposed use and the architectural manner in which it is proposed to be developed.

Sincerely,

Kathleen Walp - Applicant
Assistant Project Manager
Carter & Burgess, Inc.
602.650.4959

PROJECT DATA

EXISTING ZONING	CC
PROPOSED ZONING	CC
NET AREA	0.94 AC (40,847 SF)
GROSS AREA	0.94 AC (40,847 SF)
ADDRESS	
REQUIRED PARKING STALLS	52 (1 PER 300 SF)
PROVIDE PARKING. STALLS	36
LOT COVERAGE	31.9% (FOOTPRINT AREA 13,013/40,847)
MAX. BUILDING HEIGHT	31' -6"
LANDSCAPE AREA	0.06 AC (2894 SF)
LANDSCAPE RATIO.	7.08%



PROPOSED
CVS/PHARMACY
15,623 SF
(MAIN FLOOR AND
MEZANINE)
BUILDING FOOTPRINT
13,013 SF

MILL AVENUE

NOTE:

- 1) EXISTING UTILITIES TO BE RELOCATED AS NECESSARY.
- 2) EXISTING STRUCTURES TO BE REMOVED PRIOR TO CONSTRUCTION.

EXISTING BUS BAY TO BE MODIFIED. MOVE WEST 2'. REFER TO ARCHITECTURE PLANS.

MAY 17 2007

CARTER & BURGESS, INC.
101 NORTH FIRST AVENUE
Suite 3100
Phoenix, AZ 85003
TEL (602) 253-1200
FAX (602) 253-1202

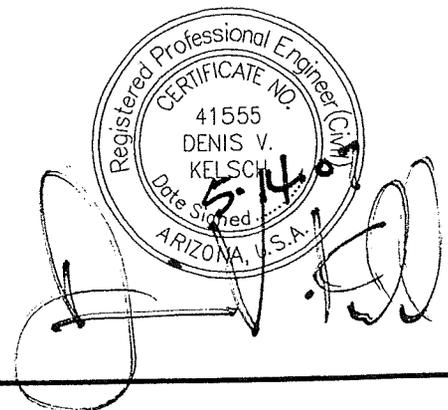
COPYRIGHT © 2003 CARTER AND BURGESS

CONSTRUCTION NOTES:

1. FIRE HYDRANT
2. TRASH ENCLOSURE. SEE DETAIL THIS SHEET
3. ADA ACCESSIBLE RAMP
4. SINGLE DRIVE THRU
5. TRANSFORMER
6. INSTALL ACCESSIBLE SIGN ON COLUMN OR POST.
7. 6" CONCRETE CURB
8. HEAVY DUTY PAVEMENT
9. SIDEWALK WITH PAVERS
10. LOADING AREA (10' X 30')
11. REMOVE EXISTING DRIVEWAY
12. RELOCATE EXISTING STREET LIGHT
13. SITE LIGHTING
14. ADA ACCESSIBLE PARKING STALL PER DETAIL THIS SHEET
15. 3' SCREEN WALL
16. EXISTING STREET LIGHT TO REMAIN
17. BIKE RACK
18. FIRE DEPARTMENT CONNECTION
19. LANDSCAPE PLANTER
20. 96" CORRUGATED UNDERGROUND RETENTION PIPE
21. DRYWELL
22. ACCESS MANHOLE

DEVELOPER/OWNER

ARMSTRONG DEVELOPMENT
PROPERTIES, INC.
1230 W. WASHINGTON ST.
SUITE 214
TEMPE, AZ 85281
TEL (602) 385-4100
FAX (602) 385-4101
CONTACT: DIANA RINCK



CVS/

Carter Burgess
 Architects, Engineering and Related Services
 101 North First Ave.
 Suite 3100
 Phoenix, Arizona 85003
 TEL: 602.253.1200
 FAX: 602.253.1202

**NOTICE OF EXTENDED
 AND APPROVAL PERIOD PROVISION**
 THIS CONTRACT MAKES THE OWNER'S
 CERTIFICATION AND APPROVAL OF
 ESTIMATES WITHIN FORTY-FIVE (45)
 DAYS AFTER THE CONTRACTOR'S
 SUBMITTAL OF BIDDING AND ESTIMATES
 REQUIRED FROM THE CONTRACTOR.

**NOTICE OF EXTENDED PAYMENT
 PROVISION**
 THIS CONTRACT MAKES THE OWNER'S
 CERTIFICATION AND APPROVAL OF
 ESTIMATES WITHIN FORTY-FIVE (45)
 DAYS AFTER THE CONTRACTOR'S
 SUBMITTAL OF BIDDING AND ESTIMATES
 REQUIRED FROM THE CONTRACTOR.

CONSULTANT:

SEAL:



CVS/
pharmacy
 ARIZONA - BK - LEFT
 STORE NUMBER 09205
 SMC UNIVERSITY & MILL
 TEMPE, ARIZONA
 DEAL TYPE RELO

DEVELOPER:
ARMSTRONG
DEVELOPMENT
PROPERTIES, INC.
 165 N. Peck St., Suite 150
 Tempe, AZ 85281
 602.336-4100

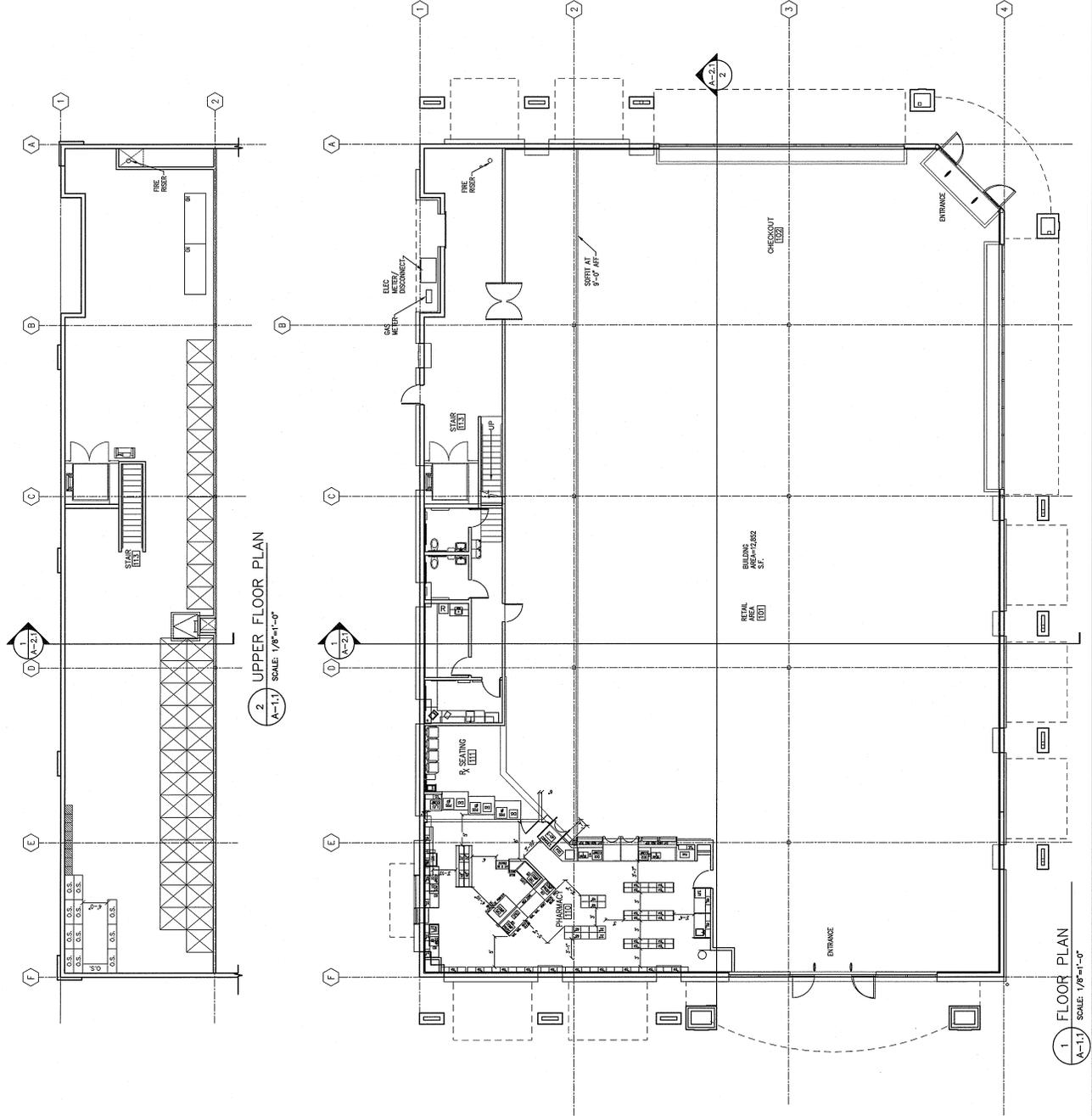
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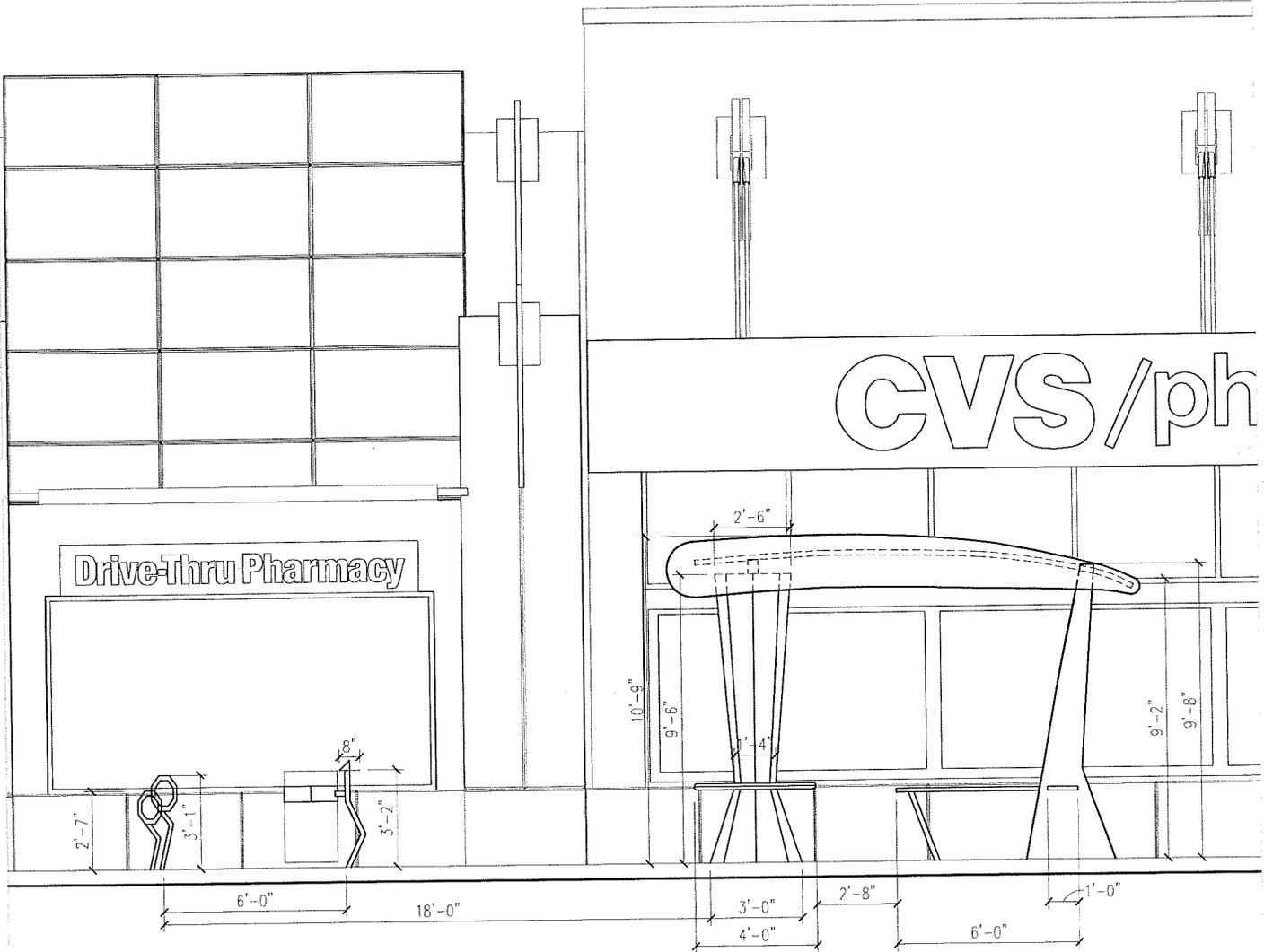
DRAWING BY:
 DATE: 04 MAY 2007
 JOB NUMBER: 195101
 TITLE:

FLOOR PLAN

SHEET NUMBER:
A-1.1

COMMENTS:
 PLANNING & ZONING REVIEW





MAY 17 2007

1 EXISTING BUS STOP ELEVATION
 SK-2 SCALE: 3/16" = 1'-0"



TITLE: BUS STOP ELEVATION EXHIBIT	DATE: 05/09/07
CVS #9205 UNIVERSITY & MILL	
Carter::Burgess, Retail/Distribution, Phoenix, AZ 602-253-1200	

PLANT LEGEND

SYM.	BOTANICAL NAME COMMON NAME	SIZE	MIN. CAL HT & W	QTY.
TREES				
	PARKINSONIA 'HYBRID' DESERT MUSEUM	36" BOX MULTI	2.0" CAL. 10'H X 8' W	7
	PARKINSONIA PRAECOX PALO BREA	48" BOX MULTI	3.0" CAL. 12' H X 12' W	14
SHRUBS/ACCENTS				
	MUHLENBERGIA CAPILLARIS DWARF MULLE	5 GAL.		114
	HESPEALOE PARVIFOLIA RED YUCCA	5 GAL.		74
GROUNDCOVER				
	LANTANA 'NEW GOLD' 'NEW GOLD' LANTANA	1 GAL.		53
VINES				
	BOUGAINVILLEA SPP. BARBARA KARST	1 GAL.		3

TOPDRESS / DUST CONTROL

 ALL PLANTING AREAS TO RECEIVE 3/4" MINUS SCREENED DECOMPOSED GRANITE - 2" MIN. DEPTH COLOR: MOHAVE GOLD BY KALAMAZOO MATERIALS {520} 631-8274 UNLESS NOTED OTHERWISE ON PLANS

LINETYPE LEGEND

        LIMIT OF LANDSCAPE CONSTRUCTION

NOTES:

1. ALL PLANT MATERIAL (EXCLUDING TREES) WITHIN THE SIGHT VISIBILITY TRIANGLES SHALL BE A MAXIMUM OF 24" IN HEIGHT PER THE CITY OF TEMPE CLEAR VISION REQUIREMENTS AND ALL TREES WITHIN THESE AREAS SHALL HAVE A MINIMUM CANOPY HEIGHT OF 84" OR AS APPROVED BY THE CITY OF TEMPE DESIGN REVIEW BOARD.
2. ALL LANDSCAPE INSTALLED WITH THIS PROJECT SHALL BE MAINTAINED BY OWNER.
3. ALL AREAS DISTURBED BY CONSTRUCTION SHALL RECEIVE A MINIMUM 2" DECOMPOSED GRANITE TOPDRESS OR OTHER APPROVED DUST CONTROL METHOD.
4. ALL TREES SHALL MEET SIZE REQUIREMENTS PER ARIZONA NURSERYMEN ASSOCIATION PUBLISHED STANDARDS.
5. TREE TRUNKS SHALL NOT BE PLACED CLOSER THAN TWENTY (20) FEET, MEASURED HORIZONTALLY, FROM A LIGHT SOURCE.
6. GROUNDCOVERS AND SHRUBS WITHIN 6' OF PATHWAYS SHALL NOT EXCEED 2' IN HEIGHT AT MATURITY. BETWEEN 6'-12' OF THE EDGE OF PATHWAYS, GROUNDCOVERS AND SHRUBS SHALL NOT EXCEED 3' IN HEIGHT AT MATURITY.



KEYNOTES

- ① PROPERTY / R.O.W LINE
- ② LIMIT OF CONSTRUCTION / DISTURBANCE.
- ③ EXISTING SEWER EASEMENT, REFER TO CIVIL PLANS
- ④ TRANSFORMER & PAD , REFER TO CIVIL PLANS
- ⑤ TRASH ENCLOSURE, REFER TO CIVIL PLANS.
- ⑥ SITE LIGHTING, REFER TO CIVIL PLANS.
- ⑦ 4' X 12' TREE GRATE, PER CITY OF TEMPE PUBLIC WORKS DOWNTOWN STANDARD
- ⑧ PARKING SCREEN WALL, REFER TO CIVIL PLANS
- ⑨ EXISTING SIDEWALK TO REMAIN, REFER TO CIVIL PLANS 
- ⑩ FIRE HYDRANT, REFER TO CIVIL PLANS
- ⑪ FDC, REFER TO CIVIL PLANS
- ⑫ PROPOSED SIDEWALK, REFER TO CIVIL PLANS 
- ⑬ SIGHT VISIBILITY LINE
- ⑭ UNDERGROUND RETENTION PIPE, REFER TO CIVIL PLANS
- ⑮ DRYWELL, REFER TO CIVIL PLANS
- ⑯ ACCESS MANHOLE, REFER TO CIVIL PLANS
- ⑰ SEAT BENCH

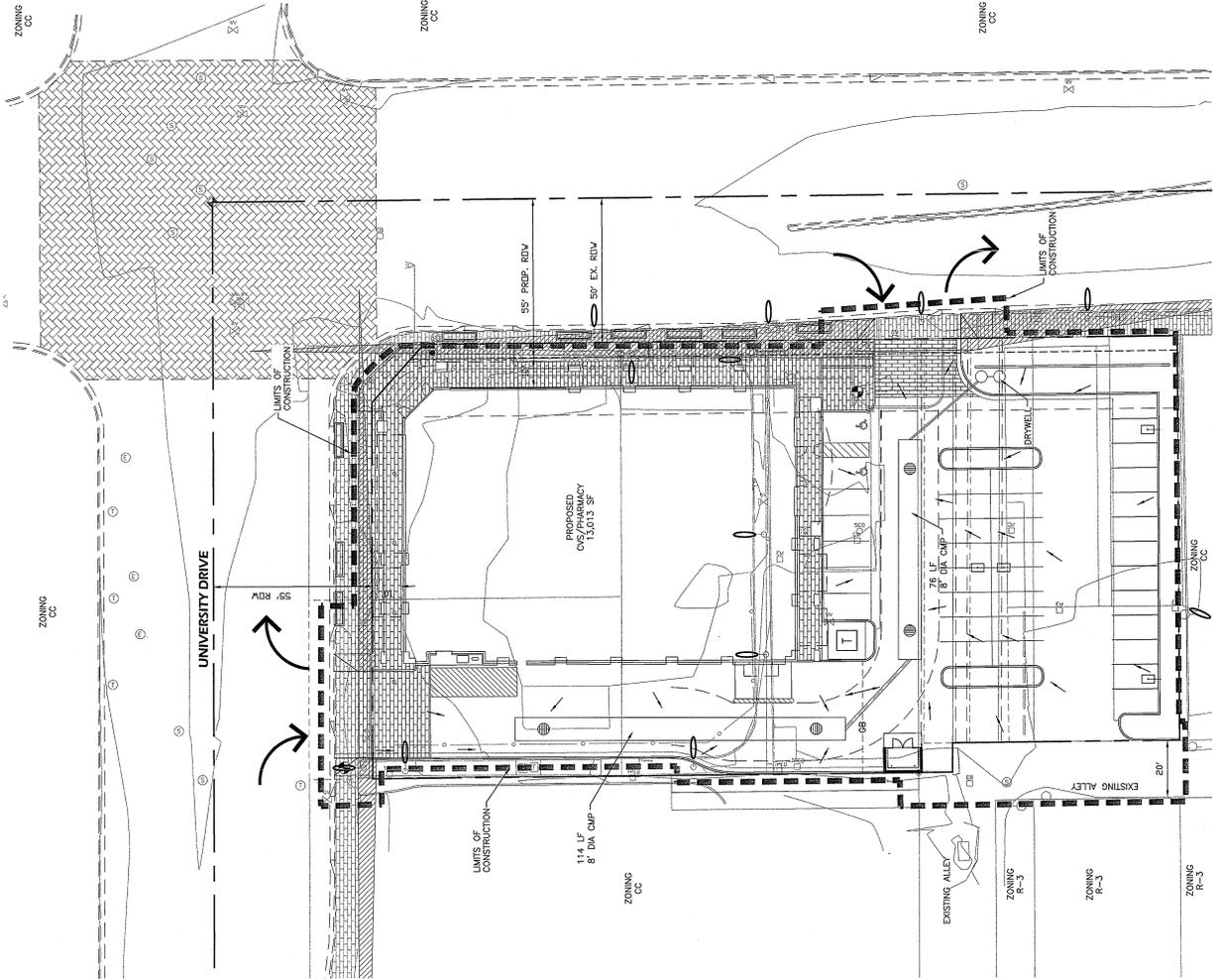
LANDSCAPE DATA

NET SITE AREA: 40,847 SF
LANDSCAPE AREA PROVIDED: 3,110 SF
PERCENTAGE OF LANDSCAPE AREA PROVIDED: 8%



CVS/pharmacy #9205

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 NORTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



NOTE: SEE PLAN AND SPEC. FOR SITE STORM WATER RETENTION PROVIDED.



Use the last sheet in 1-800-STAKE-IT

Carter :: Burgess
 Construction, Planning, Engineering, Architecture,
 Construction Management, and Real Estate Services
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 101 NORTH FIRST AVENUE
 Suite 3100
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 Tel: (602) 253-1200
 Fax: (602) 253-1202
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CVS/
 pharmacy

STORE NUMBER: 9205
 1500 NORTH GIL & MILL AVE
 TEMPE, AZ

DEVELOPER:
 Armstrong Development
 1500 NORTH GIL & MILL AVE
 Suite 150E
 Tempe, Arizona 85281
 Tel: (602) 385-4100
 Fax: (602) 385-4101

REVISIONS:

CHECKED BY:	SR
DESIGNED BY:	RVT
DRAWING BY:	RVT
DATE:	04/13/07
JOB NUMBER:	195101.011

TITLE:
**PRELIMINARY
 GRADING AND DRAINAGE**

SHEET NUMBER:
2 OF 2

COMMENTS:



CVS/pharmacy

Carter Burgess



CVS/pharmacy

Carter Burgess



Front Elevations



Left Elevations

CVS/pharmacy

University and Mill

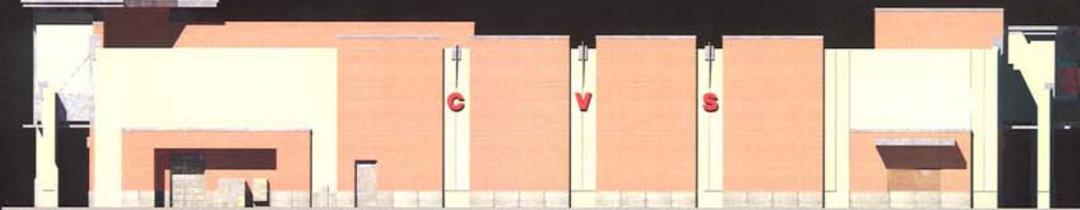
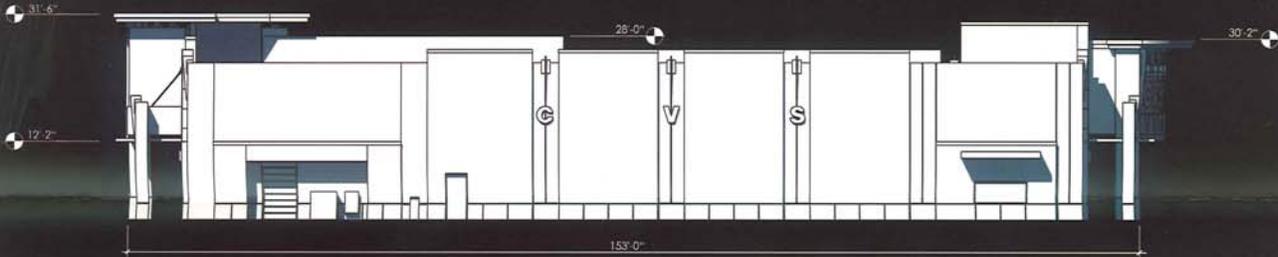
Tempe, AZ



Carter::Burgess



Rear Elevations



Right Elevations

CVS/pharmacy

University and Mill

Tempe, AZ



Carter=Burgess