

Staff Summary Report



Development Review Commission Date: 10/23/07

Agenda Item Number: 2

SUBJECT: Hold a public hearing for a Use Permit, Development Plan Review and Preliminary Subdivision Plat for BOYKO PROPERTIES located at 1225 North Miller Road.

DOCUMENT NAME: DRcr_BoykoProperties_102307

PLANNED DEVELOPMENT (0406)

SUPPORTING DOCS: Yes

COMMENTS: Request for **BOYKO PROPERTIES (PL070364)** (Nebojsa Ivovic, property owner; Edmir Dzudza, E-Project International, applicant) for reconsideration of a previously approved development plan (expired), consisting of a two (2) story building for office, warehouse, and rental storage use within 18,334 s.f. of building area on 0.84 acres, located at 1225 North Miller Road in the GID, General Industrial District and Rio Salado Overlay District, including the following:

DPR07193 – Development Plan Review including site plan, building elevations and landscape plan.

ZUP07138 – Use Permit to allow rental storage facility.

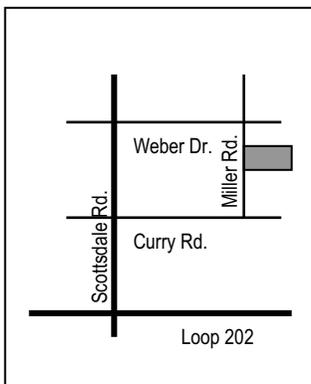
SBD07015 – Preliminary Subdivision Plat for one (1) lot on 0.84 acres.

PREPARED BY: Ryan Levesque, Senior Planner (480-350-8839)

REVIEWED BY: Lisa Collins, Planning Director (480-350-8989) *LC*

RECOMMENDATION: Staff – Approval, subject to conditions (1-28).

ADDITIONAL INFO:



Gross/Net site area	0.84 acres
Building area	11,037 s.f.
Lot Coverage	30 % (NS)
Building Height	35 ft (35 ft maximum allowed)
Building setbacks	84' front, 0' 52' side, 0' rear (25', 0', 0' min.)
Landscaped area	13% (10% minimum)
Vehicle Parking	46 spaces (46 min. required)
Bicycle Parking	4 spaces (4 min. required)

The request is seeking approval of a previously approved project, which entitlements had expired. There are no significant changes to the plans from the previous approval which included a use permit for rental storage and a development plan. A neighborhood meeting is not required and staff has not received any public input at this time.

- PAGES:**
1. List of Attachments
 2. Comments
 - 3-5. Reason for Approval / Conditions of Approval
 5. History & Facts / Zoning & Development Code Reference

- ATTACHMENTS:**
1. Location Map(s)
 2. Aerial Photo(s)
 - 3-4. Letter of Explanation
 5. Site Data
 6. Site Plan
 - 7-8. Floor Plans
 - 9-10. Building Elevations
 11. Building Sections
 12. Landscape Plan
 - 13-14. Preliminary Grading & Drainage Plan
 - 15-16. Subdivision Plat

COMMENTS:

The applicant is requesting an approval for a Development Plan Review and a Use Permit to allow rental storage and a Preliminary Subdivision Plat. The project consists of a new 18,511 s.f. office building, warehouse and rental storage facility that is situated on the east side of Miller Road between Weber Drive and Curry Road. This structure will be located at 1225 North Miller Road in the GID, General Industrial Zoning District. This request had been previously approved by the Hearing Officer for the use permit and by the Design Review Board for building elevations, site plan and landscape plan. Through the initial building permit process, the review of construction documents had expired. This resulted in expiration of the previous approvals which were valid for up to one (1) year from the date of approval, upon processing a building permit. The applicant has resubmitted for new building permits and is seeking re-approval of the same project.

Development Plan Review

The development consists of a two-story office building, including a warehouse component and a rental storage facility at eastern portion of the building. A double loaded parking aisle will provide parking spaces parallel and adjacent to Miller Road. The remaining parking spaces are provided along the south property line and secured within an area adjacent to the rental storage. Vehicular cross access, for refuse and emergency vehicles, will be provided through an electric security gate at the southeast corner of the site. The 13,514 s.f. office, 1,480 s.f. warehouse and 3,517 s.f. of rental storage have been segregated by design and strategically placed on site accordingly. The front of the structure, a two-story office, will screen the single story warehouse area and storage facility which are located at the back of the lot. 8"x8"x16" gray smooth-face CMU block will be utilized in the construction of the rental storage structure at the rear. The two-story portion of the building will employ a modern design and will utilize upgraded materials. Center scored integral colored ground face CMU block will be applied to the tower elements on the structure. All remaining building face will be covered with one (1) of three (3) different shades of an exterior insulating finish system (EIFS) or window glazing. The spandrel glazing and EIFS will provide relief through a design that staggers the depth of materials. A stair-stepping metal shade structure will provide sun protection around a portion of the first level and around the majority of the second level.

Use Permit

The warehouse facility is 1,480 square feet which will serve as the main office/warehouse for the electrical contractor and only trade tools and a company vehicle will be stored in it. The rental storage section of the building will consist of 3,340 square feet. The function of the rental storage will be for storing various household items for a temporary time period between 6 to 12 months. The hours of operation will be Monday through Friday, from 8:00 am to 5:00 pm.

Subdivision Plat

As previously stipulated, a subdivision plat is required to combine three lots into one (1). The site has never been platted on record previously, thus a Preliminary Plat is required. Following this request, a Final Subdivision Plat will be brought to City Council for final approval and recordation.

Public Input

Staff has not received any public input on this item to date. At the previous hearing held with Hearing Officer on September 20, 2005 one resident spoke in opposition to the request.

Conclusion

The applicant is requesting an approval of a previously approved project consisting of a Use Permit to allow rental storage and a development plan review including building elevations, site plan and landscape plan. No substantial changes have been made to the request. Therefore, staff recommends approval of the request subject to conditions of approval.

REASONS FOR APPROVAL:

1. The project is consistent with the previously proposed project.
2. No apparent nuisance resulting from noise, smoke, odor, dust, vibration, or glare.
3. No apparent hazards to persons or property from possible explosion, contamination, fire or flood.
4. Traffic generated by this use should not be excessive.
5. The use appears to be compatible with the building, site and adjacent property.
6. There appears to be a demonstrated need for this use at the proposed location.
7. The Subdivision Plat has access to a public street and meets the technical standards of the City Code Chapter 30, Subdivisions.

CONDITIONS OF APPROVAL:

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. DEVELOPMENT REVIEW COMMISSION MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS. THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCE THAT PLANNING STAFF OBSERVES ARE PERTINENT TO YOUR CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT. THESE ITEMS ARE NOT AN EXHAUSTIVE LIST.

1. If there are any complaints arising from the use permit that are verified by a consensus of the complaining party and the City Attorney's office, the use permit will be reviewed by city staff to determine the need for a public hearing to re-evaluate the appropriateness of the use permit.
- No retailing allowed within a rental storage facility.
2. A Final Subdivision Plat is required for this development and shall be recorded prior to issuance of building permits. The Plat shall be put into proper engineered format with appropriate signature blanks and recorded with the Maricopa County Recorder's Office through the City of Tempe's Development Services Department. Failure to record the plan within one year of City Council approval shall make the plan null and void.
 3. Your drawings must be submitted to Development Services Building Safety Division for building permit by October 23, 2008 or the development plan approval will expire.
- Verify all comments by the Public Works Department, Development Services Department, and Fire Department given on the Preliminary Site Plan Review dated 4/22/2005, 6/3/2005/ and 11/10/2005. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Constructions Documents submitted to the Building Safety Department will be reviewed by planning staff to ensure consistency with this Design Review approval prior to issuance of building permits.

Site Plan

4. All parking spaces which are located perpendicular to landscape areas shall be 16 foot in length, with a 2-foot overhang extending into adjacent landscape areas. The adjacent landscape areas shall be widened by 2 foot to accommodate the vehicle overhang.

5. Parking spaces which are located perpendicular to walkways shall be 16 foot in length, with a 2-foot overhang extending over the adjacent sidewalk. The adjacent sidewalk shall be 6 foot to accommodate the vehicle overhang.
6. Provide upgraded paving materials, such as unit pavers, exposed aggregate, or colored concrete, as accents for all pedestrian sidewalks on site, for a crosswalk across parking area to building, and at main entry to building. These materials shall be compatible with Americans with Disabilities Act, ADA.
7. Provide upgraded paving at driveway apron consisting of concrete unit paving. The extent of unit paving shall be from sidewalk edge to 20'-0" on site and from curb to curb at drive edges. Coordinate unit paving with accessible public sidewalk bypass (standard detail T-320) across mouth of driveway. Indicate type and pattern of unit paving on construction drawings. Material and layout of paving subject to approval by Transportation and Planning staff during building plan check process.
8. All transformer boxes, meter panels and electrical equipment, backflow valves, and other utility equipment shall be painted to coordinate with the building color.
9. No chain link fencing, razor wire, barbed wire, etc. will be allowed.
10. Bicycle parking areas shall be designed per City of Tempe Detail T578 which is available from the Engineering Division, Public Works Department or on their web site, www.tempe.gov/engineering.
11. New CMU block wall on south property line shall be increased in height to 8'-0".
12. Walls for site security must be of substantial construction to resist vandalism and excessive deterioration, with materials and finishes as described in the Zoning and Development Code.
13. Gates for vehicular access control must be reviewed and approved by Development Services Department staff including Planning, Engineering, Building Safety and Fire, prior to issuance of building permits.

Building Elevations

14. Incorporate scuppers and downspouts into building elevations so that they do not detract from the building architecture.
15. Locate roof access ladder inside the building.
16. The main building colors and materials shall have a light reflectance value (LRV) of 75 percent or less. Specific colors and materials to be approved by staff prior to issuance of building permits.
17. Details of meter panels and electrical equipment installation and location shall not detract from the architecture of the building and shall be approved by staff prior to issuance of building permits.
18. Coordinate the location of any incidental electrical or other equipment attachment (alarm klaxon, etc.) where exposed into building elevations so that the architecture is enhanced by these elements. Provide detail layout for review during building submittal process.
19. Incorporate locations of address numbers and their illumination source into building elevations so that they do not detract from the building architectural character.
20. All exterior employee service doors shall provide a security vision panel subject to applicable building codes.

- Measure height of buildings from midpoint top of curb along front of property (as defined by Zoning and Development Code).

Lighting

21. All light fixtures designed for security lighting shall be vandal resistant, incorporate vandal resistant refractors (lens) and be provided with a gasket or seal that is designed to resist rain, dust and insect contamination within the fixture housing.
22. A copy of all cut sheets for light fixtures shall be submitted and marked as to which information and data applies to the specific light fixture, including the lamp manufacturer.

Landscape

23. Trees located in parking lot landscape islands shall be canopy type trees, such as Mesquite or Evergreen Elm.
24. Show any existing plant material to remain. Incorporate the existing plant material and irrigation systems into the design of this proposal.
25. Location of trees and shrubs shall be coordinated with building plans in order to avoid conflicts between plant material at mature size and address number signs located on building elevations and freestanding signs.
26. Place exterior, freestanding reduced pressure and double check backflow assemblies in pre-manufactured, pre-finished, lockable cages (one assembly per cage). If backflow prevention or similar device is for a 3" or greater water line, delete cage and provide a masonry or concrete screen wall following the requirements of Standard Detail T-214.

Signage

27. Provide details of address signage for review.
28. No exposed conduits or raceways are allowed for any signage.

HISTORY & FACTS:

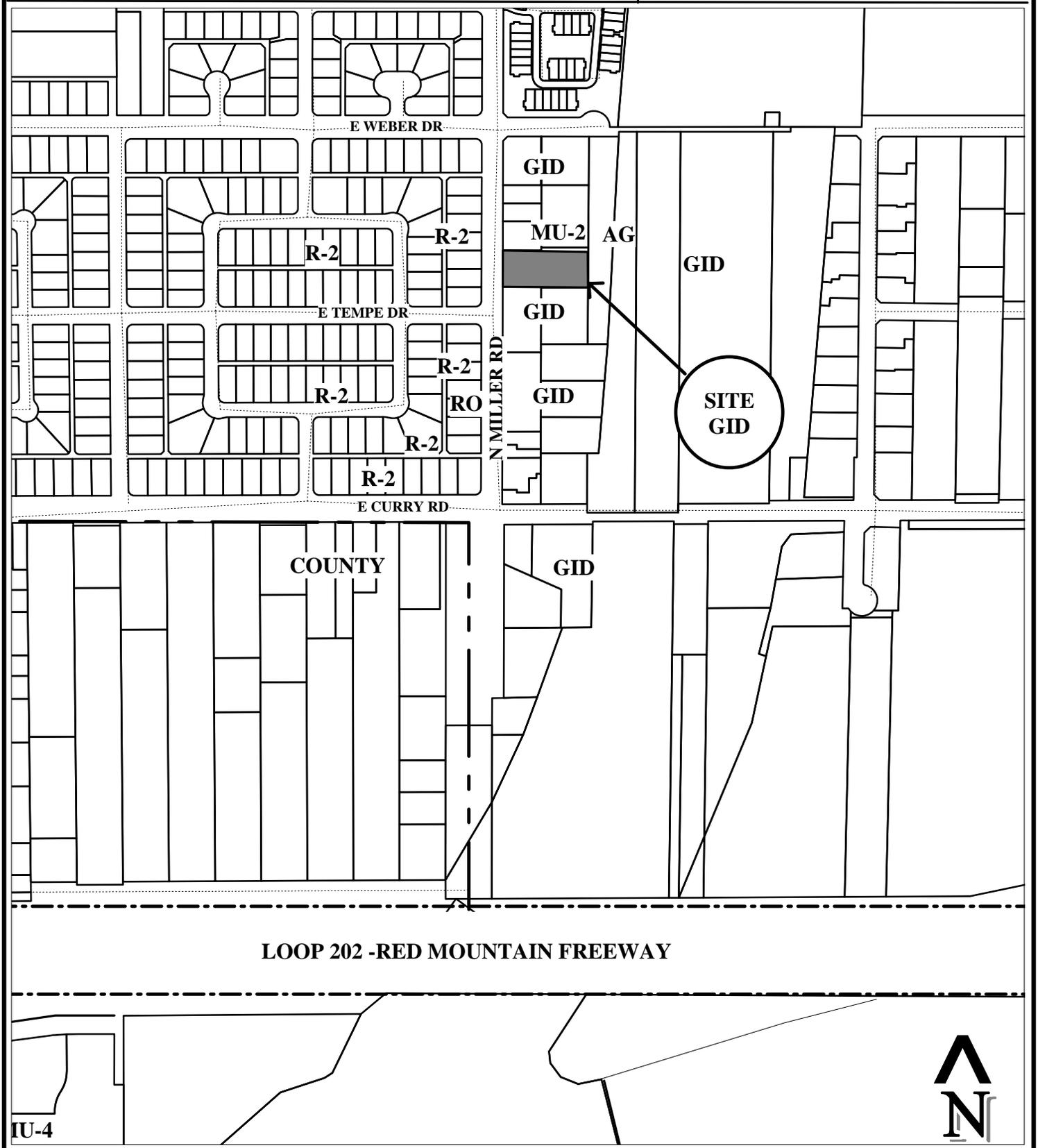
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|--------------------|--|
| September 20, 2005 | The Hearing Officer approved the request by Boyko Properties for a use permit to allow a rental storage facility as part of a mixed use site, including office, warehouse and storage, located at 1225 North Miller Road in the GID, General Industrial Zoning District. |
| December 7, 2005 | Design Review Board approved building elevations, site plan and landscape plan for BOYKO PROPERTIES located at 1225 North Miller Road. |
| July 21, 2006 | Boyko Properties project applies for building permits processing. |
| July 16, 2007 | Boyko Properties building permits expire, voiding previous approved Planning entitlements. |

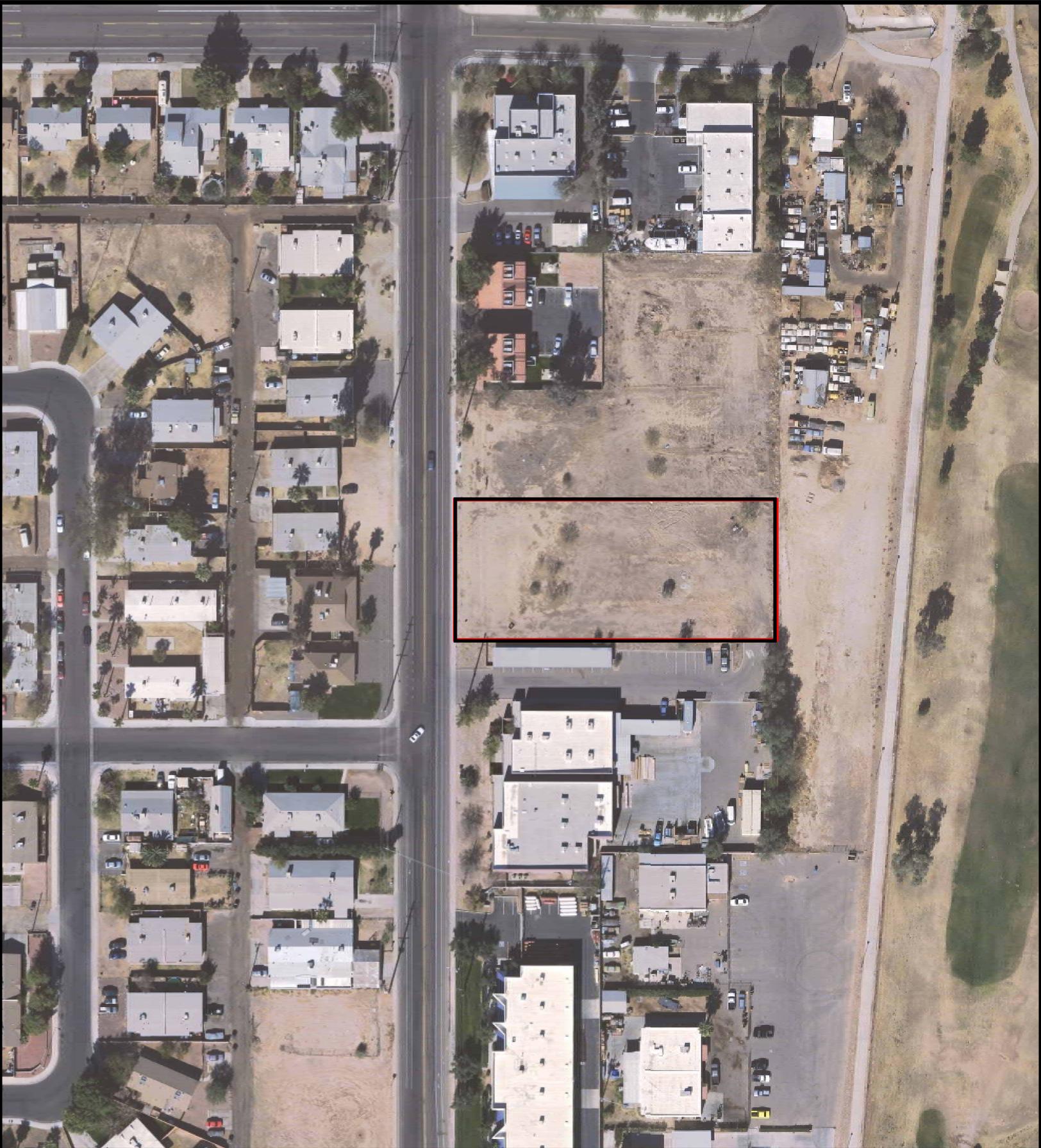
ZONING AND DEVELOPMENT CODE REFERENCE:

Section 6-306, Development Plan Review
Section 6-308, Use Permit
Section 6-307, Subdivisions

BOYKO PROPERTIES

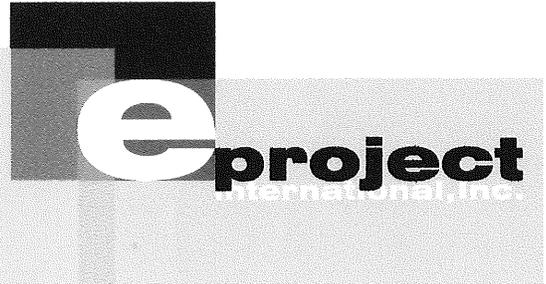
PL070364





Letter of Explanation

custom homes design
residential permits
interiors
architectural drafting
renderings



For Use Permit Application

Proj. no.
2705
Boyko Properties

Date:
08/22/2005

Proposed project located at 1225 N. Miller road, Tempe , AZ will be mixed use project composed of 2 story office building, warehouse and rental storage.

Warehouse facility is 1,480 sf and will serve as main office-warehouse for electrical contractor. Only trade tools and company vehicle will be stored in it. Such use will not produce any odor, gas, dust, noise, vibration, smoke, etc, exceeding ambient conditions.

Rental Storage portion of the project, will be 3,340 sf. Each rental storage will be intended for storing different household items for time period between 6 to 12 months. Such periodical use of the facility will not generate significant increase in traffic.

Entire project will be appealing for neighborhood and compatible with existing surrounding structures, using stucco, exposed ground face CMU block and metal panels.

Signature:

Date:

A handwritten signature in black ink, appearing to read 'Edmir Dzudza', is written over a horizontal line.

08/22/2005

Edmir Dzudza

End of Document

Narrative of Design Rationale

custom homes design
residential permits
interiors
architectural drafting
renderings



For Design Review

Proj. no.
2705
Boyko Properties

Date:
09/20/2005

Proposed project located at 1225 N. Miller road, Tempe , AZ will be mixed use project composed of 2 story office building, warehouse and rental storage.

Project goal was established to achieve quality project for a long term ownership, considering energy savings through the building life.

The building is located on a site in a manner to provide parking spaces at the south side. Cross access agreement with southern neighbor helped to achieve this concept. At the same time , long north façade will allow maximum gain of defused natural light in office spaces.

All glazing will be provided with deep overhangs against western sun exposure, that would get desired energy savings. Exterior envelope will be with high R-value and optional finishes in metal panels or dryvit finish. The mix of different materials , such as concrete masonry units, metal panels or dryvit finish and reflective glass, will also get more interest and value to entire neighborhood.

Signature:

Date:

THIS PROJECT HAS BEEN
EXPIRED AND WE WILL BE
MOVING FORWARD WITH SAME
CONCEPT.

09/20/2005

Edmir Dzudza

08-10-07

End of Document

AUG 15 2007

NOV 2 2005

ZONING AND CODE DATA

ZONING DISTRICT	GID		
OVERLAY DISTRICT	RIO SALADO OVERLAY DISTRICT		
BUILDING HEIGHT	35'-0" MAX		
LOT COVERAGE	NOT SPECIFIED OFFICE 6217 SF RENTAL STORAGE 4581 SF TOTAL 10798 SF LOT COVERAGE 10798 / 36604 = 29.49 %		
BUILDING SET BACK LINES	FRONT	25'-0"	
	REAR	0'-0"	
	SIDES	0'-0"	
PARKING SET BACK	FRONT	20'-0"	
LANDSCAPE REQUIREMENTS	MIN. 10% OF NET LOT AREA (3,660.40 SF) PROVIDED 4,892 SF		
LOT AREA TABULATION	PARCEL 1	NET	7,938 SF
	PARCEL 2	NET	7,938 SF
	PARCEL 3	NET	20,381 SF
	PARCEL 4	NET	347 SF
	TOTAL	NET	36,604 SF
		GROSS	40,729 SF
GENERAL PLAN 2030	PROJECTED LAND USE : MIXED USE		
	PROJECTED DENSITY : LOW TO MEDIUM		
PARKING REQUIREMENTS	OFFICE	13,514 / 5000	45.0
	RENTAL STORAGE	4,581 / 5000	0.9
	TOTAL REQUIRED		45.9
PARKING PROVIDED			46
BICYCLE PARKING REQUIREMENTS	OFFICE	13,514/10,000	1.3
	RENTAL STORAGE	4,581/NS	
	TOTAL REQUIRED		1.3
BYCICLE RACKS PROVIDED			2
CONSTRUCTION TYPE	V B		
FIRE SPRINKLERS	YES, INSTALLED IN ACCORDANCE WITH NFPA 13		

site data

project

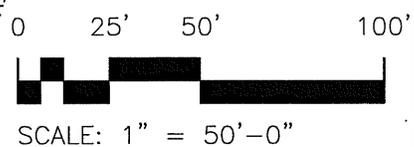
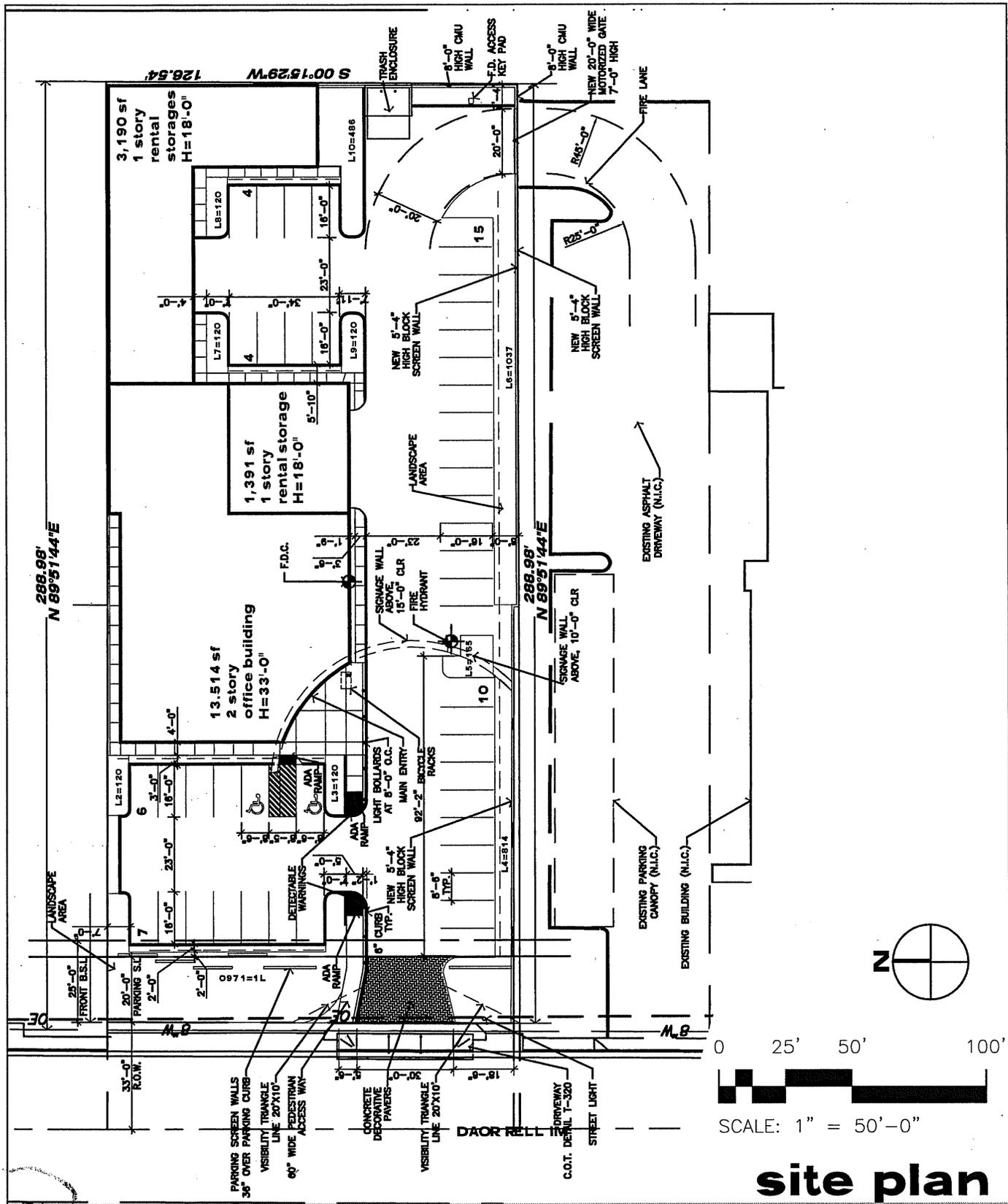
1717 E. Bell Rd. Phoenix AZ 85022
 phone: 602/569-1067 fax: 602/595-7029
 e-mail: e-project@cox.net

Boyko Properties

date:
09/20/05

AUG 15 2007

1225 N. Miller Rd. Tempe AZ



site plan

project

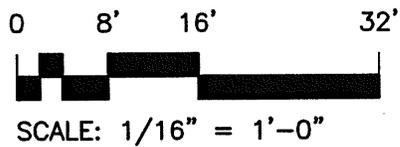
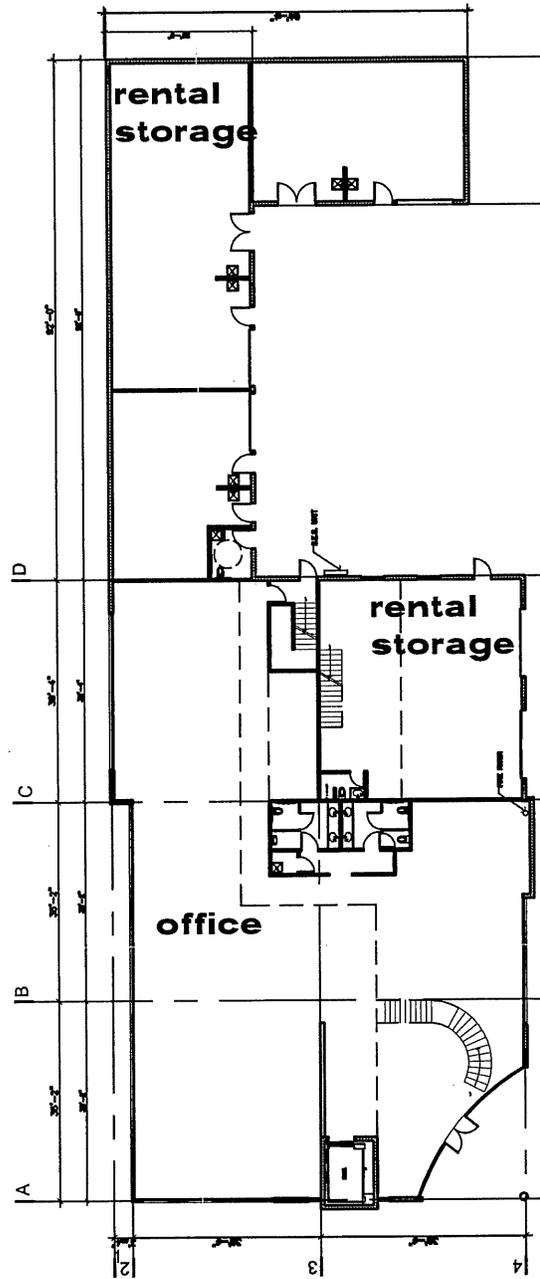
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 e-mail: e-project@cox.net

Boyko Properties

date:
09/20/05

AUG 15 2007

1225 N. Miller Rd. Tempe AZ



1st floor plan

project

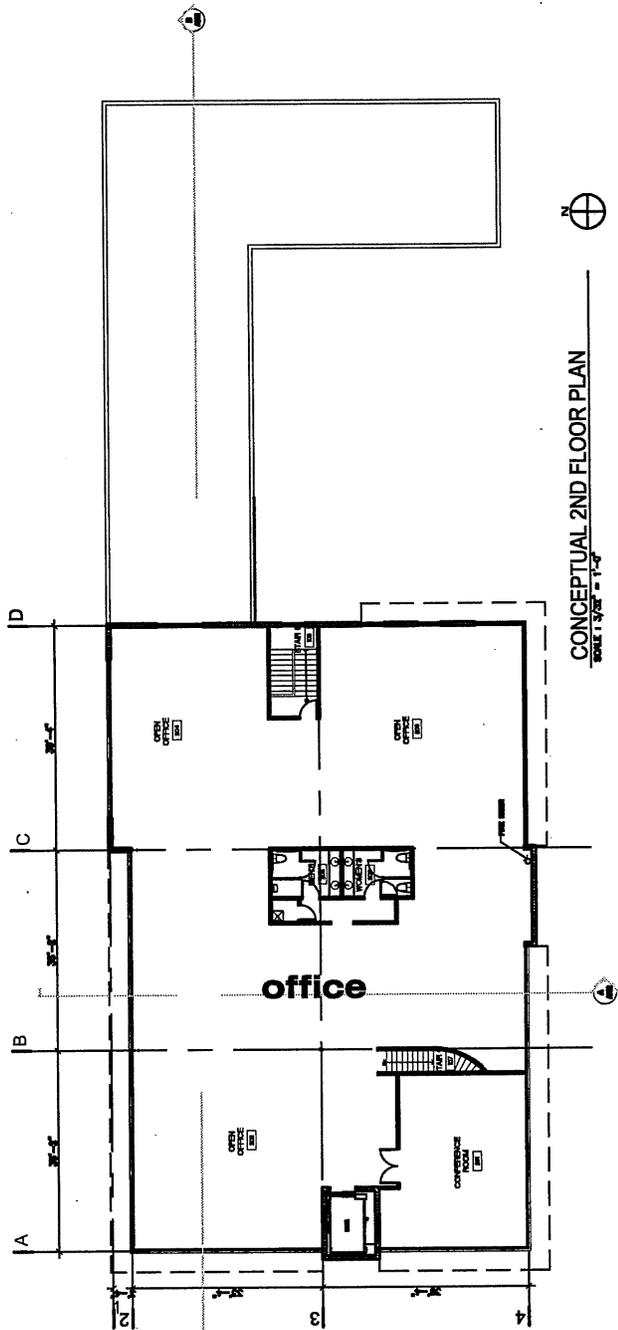
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 phone: 602/569-1067 fax: 602/595-7029
 e-mail: e-project@cox.net

Boyko Properties

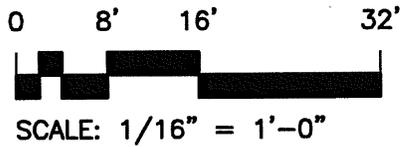
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1225 N. Miller Rd. Tempe AZ

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CONCEPTUAL 2ND FLOOR PLAN
SCALE: 1/32" = 1'-0"



2nd floor plan

project
1717 E. Bell Rd. Phoenix AZ 85022
phone: 602/569-1067 fax: 602/595-7029
e-mail: e-project@cox.net

Boyko Properties

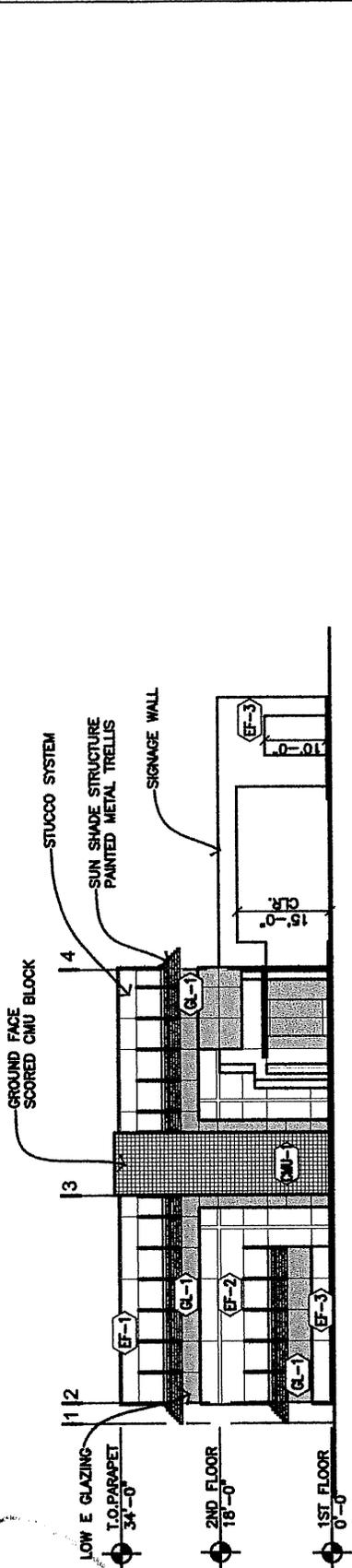
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09/20/05

1225 N. Miller Rd. Tempe AZ

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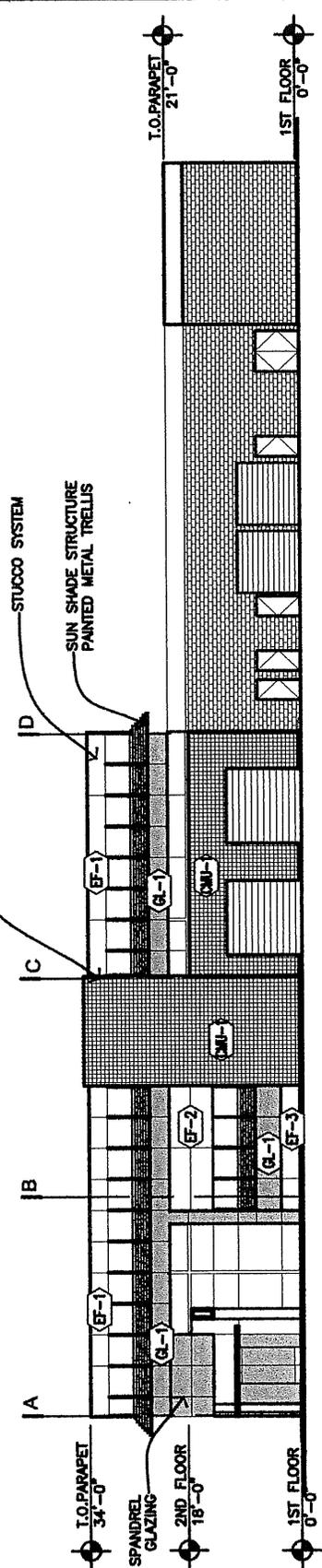
NOV 30 2005

ATTACHMENT 8



WEST ELEVATION

SCALE : NTS



SOUTH ELEVATION

SCALE : NTS

elevations

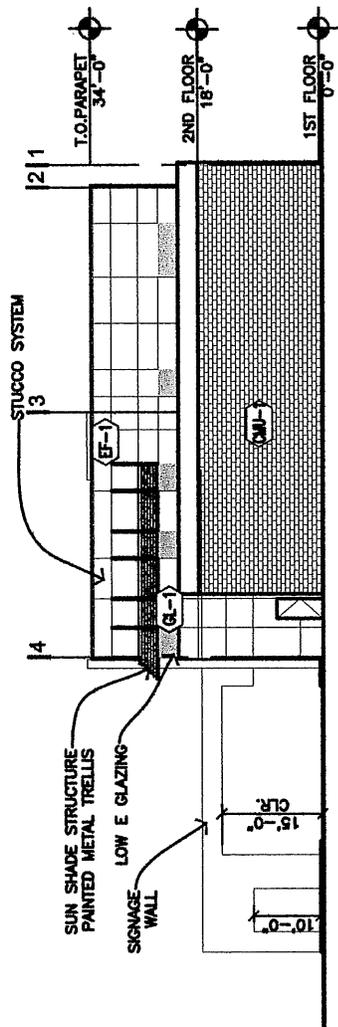
project
 1717 E. Bell Rd. Phoenix AZ 85022
 phone: 602/688-1067 fax: 602/698-7029
 e-mail: e-project@cox.net

Boyko Properties

date:
11/21/05

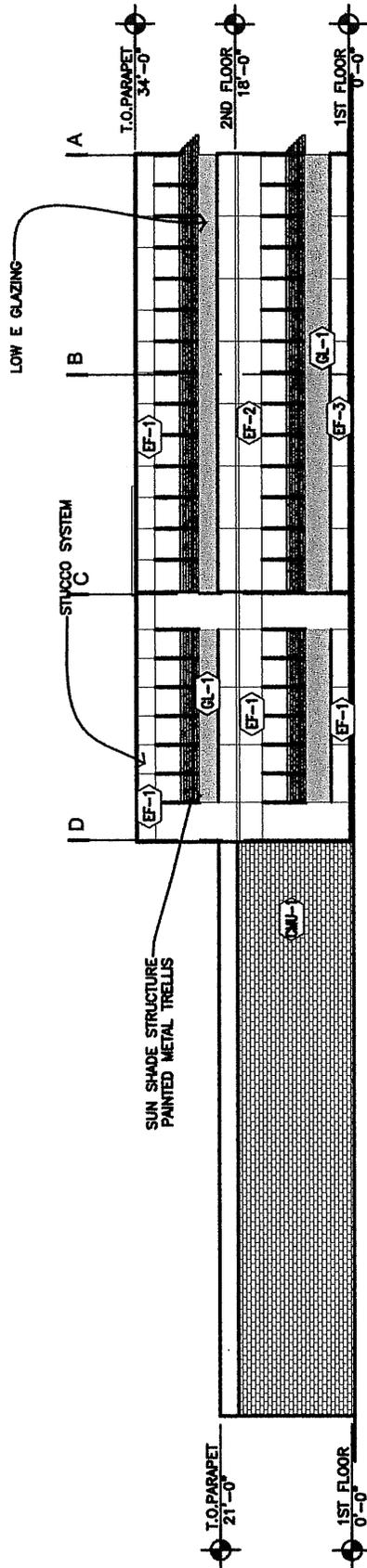
1225 N. Miller Rd. Tempe AZ

AUG 15 2007



EAST ELEVATION

SCALE : NTS



NORTH ELEVATION

SCALE : NTS

elevations

project

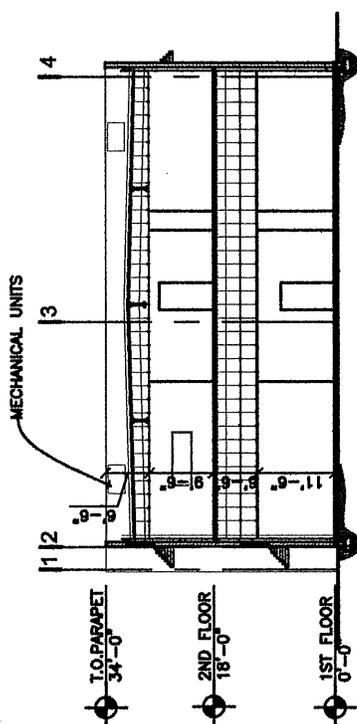
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 phone: 602/585-1067. fax: 602/585-7029
 e-mail: e-project@cox.net

Boyko Properties

date:
 11/21/05

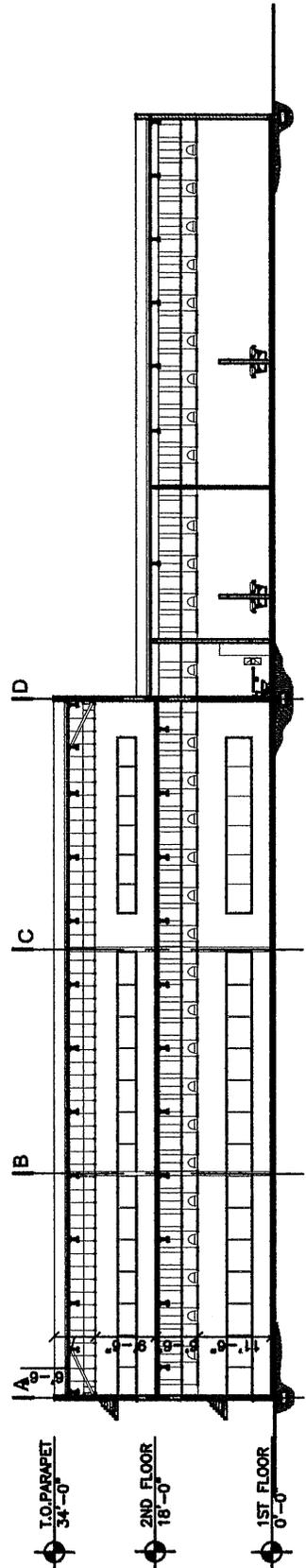
AUG 15 2007

1225 N. Miller Rd. Tempe AZ



SECTION A

SCALE : NTS



SECTION B

SCALE : NTS

sections



project

1717 E. Bell Rd. Phoenix AZ 85022
 phone: 602/558-1067 fax: 602/555-7029
 e-mail: e-project@cox.net

Boyko Properties

date:
 11/21/05

AUG 15 2007

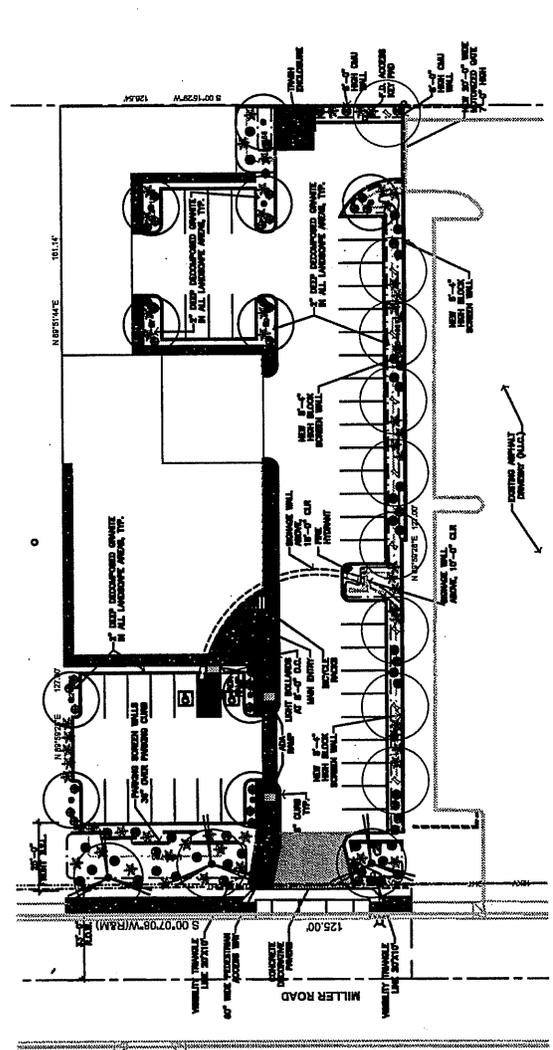
1225 N. Miller Rd. Tempe AZ

LANDSCAPE LEGEND

SYMBOL	BOTANICAL / COMMON NAME	SIZE
	Line	
	Cercidium hybrid "Desert Museum" / 24" box Desert Museum Palo Verde	24" box
	Tipuana tipu / Tipu Tree	
	STUCCO	
	Eremophylla "Valentine" / Valentine Emu Bush	5 gallon
	accent	
	Hesperaloe parviflora / Red Yucca	5 gallon
	Muhlenbergia capillaris / Regal Mist Deer Grass	5 gallon
	GROUNDCOVERS	
	Lantana camara "New Gold" / New Gold Lantana	1 gallon
	rock	
	Decomposed Granite / Color: Grande Rose	1/2" Screened

LANDSCAPE NOTES

1. ALL PLANTS AND TURF SHALL BE QUALITY MATERIAL HAVING A GROWTH HABIT WHICH IS NORMAL FOR THE SPECIES AND BE SOUND, VIGOROUS, HEALTHY AND FREE FROM INSECTS, DISEASE AND INJURY.
2. FINISH GRADE IN GROUND COVER, GRANITE AND LAWN AREAS SHALL BE 1" BELOW ADJACENT HEADER, PAVING OR CURB.
3. DECOMPOSED GRANITE SHALL BE PLACED IN ALL NON-TURF LANDSCAPE AREAS AND EXTEND UNDER ALL SHRUBS AND GROUNDCOVERS.
4. EXISTING LANDSCAPE DISTURBED BY NEW CONSTRUCTION SHALL BE REPAIRED WITH MATCHING MATERIALS. DISTURBED AREAS SHALL TRANSITION SMOOTHLY INTO NEW CONSTRUCTION.
5. LANDSCAPE INSTALLATION SHALL CONFORM TO APPLICABLE CITY OF TEMPE DESIGN STANDARDS.



CONCEPTUAL LANDSCAPE PLAN
 SCALE 1" = 20'-0"
 TOTAL SCALE: 1" = 20'-0"

VICINITY MAP
 NO SCALE

NOV 30 2005

AUG 15 2007

PRELIMINARY GRADING AND DRAINAGE PLAN FOR: BOYKO PROPERTIES

NorthPoint Engineering
 1951 W. Camelback Road Suite 305
 Phoenix, Arizona 85015
 Phone (602) 941-1118
 Fax (602) 941-6125

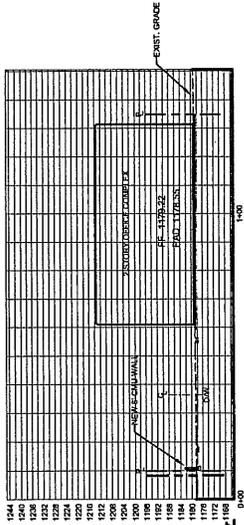
NO.	DESCRIPTION	DATE

ENGINEERS CERTIFICATION
 ELEVATIONS SHOWN FROM ANCHORS
 FROM ANCHORS DURING THE DRIVE,
 REPAIRS OR ERECT.
 HISTORICAL GRADINGS
 PATTERN AND
 THIS PROPOSED OF
 BEING MAINTAINED

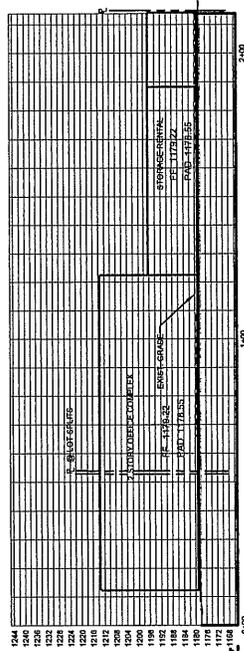


BOYKO PROPERTIES
 1225 NORTH MILLER ROAD
 TEMPE, ARIZONA 85281
PRELIMINARY GRADING & DRAINAGE

JOB NO. 05024
 DATE: 11-12-2005
 CHECKED BY: TSC
 PRELIMINARY GAD



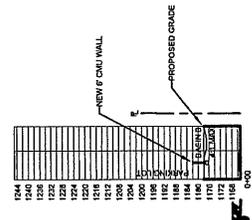
SECTION A-A
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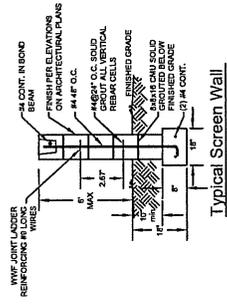
SECTION B-B
 Scale: 1 inch = 20 feet
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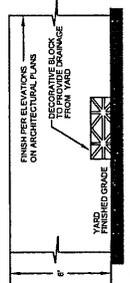
SECTION C-C
 Scale: 1 inch = 20 feet
 0 5 10 20 40



SECTION D-D
 Scale: 1 inch = 20 feet
 0 5 10 20 40



Typical Screen Wall



Typical Screen Wall w/ Decorative Block Drain

AS-BUILT CERTIFICATION
 I HEREBY CERTIFY THAT THE RECORD DRAWING MEASUREMENTS AS SHOWN HEREON
 WERE OBTAINED BY ME OR BY A PERSON UNDER MY CLOSE PERSONAL SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST
 OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER (LAND SURVEYOR) _____ DATE _____
 REGISTRATION NUMBER _____

AUG 15 2007

IVOVIC COMMERCIAL CENTER
 A PLAT OF A PORTION OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF
 SECTION 11, TOWNSHIP 1 NORTH, RANGE 4 EAST,
 OF THE GILA AND SALT RIVER BASE AND MERIDIAN,
 MARICOPA COUNTY, ARIZONA

Dedication:

State of Arizona)
 County of Maricopa) SS

KNOW ALL MEN BY THESE PRESENTS:

THAT NEBOUSA AND DENISE IVOVIC, HUSBAND AND WIFE, AS OWNERS, HAVE PLATED THE PROPERTY SHOWN HEREON, UNDER THE NAME "IVOVIC COMMERCIAL CENTER," BEING A PORTION OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SECTION 11, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, AS SHOWN AND PLATTED HEREON AND HEREBY PUBLISH THIS PLAT AS AND FOR THE PLAT OF SAID "IVOVIC COMMERCIAL CENTER," AND HEREBY DECLARES THAT SAID PLAT SETS FORTH THE DIMENSIONS OF THE LOTS, EASEMENTS AND STREETS CONSTITUTING SAME, AND THAT EACH LOT, EASEMENT & STREET SHOWN ON SAID PLAT SHALL BE KNOWN BY THE NUMBER OR NAME GIVEN TO EACH RESPECTIVELY ON SAID PLAT.

IN WITNESS WHEREOF, NEBOUSA AND DENISE IVOVIC, AS OWNERS OF PARCELS 1, 2, 3 & 4 HEREUON CAUSES THEIR NAMES TO BE AFFIXED AND THE SAME TO BE ATTESTED BY THE SIGNATURE OF THE UNDERSIGNED OWNER THEREUNTO DULY AUTHORIZED.

BY: NEBOUSA IVOVIC, HUSBAND DATE: _____
 ITS: OWNER
 BY: DENISE IVOVIC, WIFE DATE: _____
 ITS: OWNER

Acknowledgement:

State of Arizona)
 County of Maricopa)

ON THIS _____ DAY OF _____, 2007, BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, PERSONALLY APPEARED NEBOUSA AND DENISE IVOVIC, HUSBAND AND WIFE, WHO ACKNOWLEDGED THEMSELVES TO BE OWNERS, AND ACKNOWLEDGED THAT AS SUCH, BEING AUTHORIZED TO DO SO, EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF,
 I HEREUON SET MY HAND AND OFFICIAL SEAL.
 BY: _____
 MY COMMISSION EXPIRES: _____

Owner/Developer

NEBOUSA AND DENISE IVOVIC
 6501 E. PARADISE DRIVE
 SCOTTSDALE, AZ 85254

Benchmark

BRASS CAP IN HANDHOLE LOCATED AT THE INTERSECTION OF MILLER ROAD & WEBER DRIVE ELEVATION = 1179.78 (CITY OF TEMPE DATUM)

Basis of Bearing

THE BASIS OF BEARING IS THE WEST LINE OF THE NORTHWEST 1/4 CORNER OF THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA. A BEARING OF SOUTH 00 DEGREES 07 MINUTES 08 SECONDS WEST WAS USED PER THE LEGAL DESCRIPTION FOR PARCEL NO. 4 OF THE WARRANTY DEED RECORDED AS DKT. #2001-0844542, RECORDS OF MARICOPA COUNTY, ARIZONA.

Approvals

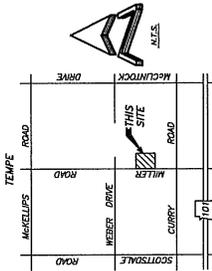
APPROVED BY THE MAYOR & CITY COUNCIL OF THE CITY OF TEMPE, ARIZONA THIS _____ DAY OF _____, 2007.

BY: _____ MAYOR DATE _____
 ATTEST: _____ CITY CLERK DATE _____
 BY: _____ CITY ENGINEER DATE _____
 BY: _____ DEVELOPMENT SERVICES DATE _____

Certification:

I, WILLIAM H. STANDAGE, HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR IN THE STATE OF ARIZONA; THAT THIS PLAT CONSISTING OF 2 SHEETS REPRESENTS A SURVEY PERFORMED UNDER MY SUPERVISION DURING THE MONTH OF APRIL 2006; THAT THE SURVEY IS CORRECT AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF; THAT THE BOUNDARY MONUMENTS, CONTROL POINTS AND LOT CORNERS SHALL BE LOCATED AS SHOWN AND WILL BE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

William H. Standage
 409 S. El Estoradio
 Mesa, AZ 85202



Vicinity Map

Legend

--- Street Right-of-Way Line	T. Township
--- Property Line	R. Range
--- Easement Line	Sec. Section
(R) Record Bearing & Distance	Alm. Acreage
(W) Measured Bearing & Distance	Docket
Dist. 1/2" Necker W/ Cap #25403 (Unless Otherwise Noted)	Page
o	R/W Right-of-Way
Fd. Found	Id. Identification
B.C. Brass Cap	M.C.D.O.T. Maricopa County Department of Transportation
Mt. Monument	L.S. Land Surveyor

General Notes

1. THIS SUBDIVISION IS LOCATED WITHIN THE CITY OF TEMPE WATER SERVICE AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.
2. LOT CORNERS TO BE SET WITH 1/2" REBAR. RLS#38560.
3. ALL NEW AND EXISTING, AS WELL AS ON-SITE AND OFF-SITE UTILITY LINES (OTHER THAN TRANSMISSION LINES) SHALL BE PLACED UNDERGROUND.

Flood Plain Certification

THIS IS TO CERTIFY THAT THE ABOVE SUBJECT PROPERTY LIES WITHIN ZONE "SHADED X" AS DESIGNATED ON THE FLOOD INSURANCE RATE MAP, MAP NUMBER 04013C 2160F, DATED SEPTEMBER 30, 2005. ZONE "SHADED X" IS DESIGNATED AS BEING AREAS 0.2% ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

DS071050

SBD07015

REC07024

SHEET: 1
OF: 2
PROJECT: 050410
SCALE: 1" = 20'
REVISED: B/WB/WHS

REC07024

SBD07015

DS071050

Legal Description (Prior to Subdivision)

LINE	BEARING	DISTANCE
1	N 89°59'28"E	33.00'
2	N 00°15'52"E	18.50'
3	N 89°51'44"E	33.00'



PARCEL NO. 1:
THE NORTH HALF OF THE FOLLOWING DESCRIBED PROPERTY:
THE SOUTH 125 FEET OF THE NORTH 550 FEET OF THE WEST 160 FEET OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;
EXCEPT THAT PART CONVEYED TO THE UNITED STATES OF AMERICA IN BOOK 334 OF DEEDS, PAGE 66; AND

PARCEL NO. 2:
THE SOUTH HALF OF THE FOLLOWING DESCRIBED PROPERTY:
THE SOUTH 125 FEET OF THE NORTH 550 FEET OF THE WEST 160 FEET OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;
EXCEPT THAT PART CONVEYED TO THE UNITED STATES OF AMERICA IN BOOK 334 OF DEEDS, PAGE 66; AND

PARCEL NO. 3:
THE SOUTH 137.04 FEET OF THE FOLLOWING DESCRIBED PROPERTY:
THE EAST HALF OF THE WEST HALF OF THE WEST HALF OF THE WEST HALF OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;
EXCEPT THE SOUTH 775 FEET THEREOF, AND

PARCEL NO. 4:
THAT PORTION OF THE WEST HALF OF THE WEST HALF OF THE WEST HALF OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHWEST QUARTER OF THE SOUTHWEST QUARTER;
THENCE SOUTH 00 DEGREES 07 MINUTES 08 SECONDS WEST, ALONG SAID EAST LINE, 128.52 FEET TO THE NORTH LINE OF THE SOUTH 125 FEET OF THE NORTHWEST QUARTER OF THE WEST HALF OF THE WEST HALF OF SAID SECTION 11;
THENCE WEST, ALONG THE SOUTH LINE OF SAID SOUTH 125 FEET, A DISTANCE OF 160.00 FEET TO SAID NORTH-SOUTH QUARTER SECTION LINE;
THENCE SOUTH 00 DEGREES 07 MINUTES 08 SECONDS WEST, ALONG SAID NORTH-SOUTH QUARTER SECTION LINE, 1.94 FEET TO THE POINT OF BEGINNING;
EXCEPT AN UNDIVIDED 1/2 INTEREST IN AND TO ALL OIL, GAS AND MINERAL RIGHTS APPERTAINING THERETO, AS RESERVED IN INSTRUMENT RECORDED IN DOCKET 324, PAGE 137, RECORDS OF MARICOPA COUNTY, ARIZONA.

PARCEL NO. 5:
THE SOUTH 137.04 FEET OF THE FOLLOWING DESCRIBED PROPERTY:
THE EAST HALF OF THE WEST HALF OF THE WEST HALF OF THE WEST HALF OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;
EXCEPT THE SOUTH 775 FEET THEREOF, AND

PARCEL NO. 6:
THAT PORTION OF THE WEST HALF OF THE WEST HALF OF THE WEST HALF OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHWEST QUARTER OF THE SOUTHWEST QUARTER;
THENCE SOUTH 00 DEGREES 07 MINUTES 08 SECONDS WEST, ALONG SAID EAST LINE, 128.52 FEET TO THE NORTH LINE OF THE SOUTH 125 FEET OF THE NORTHWEST QUARTER OF THE WEST HALF OF THE WEST HALF OF SAID SECTION 11;
THENCE WEST, ALONG THE SOUTH LINE OF SAID SOUTH 125 FEET, A DISTANCE OF 160.00 FEET TO SAID NORTH-SOUTH QUARTER SECTION LINE;
THENCE SOUTH 00 DEGREES 07 MINUTES 08 SECONDS WEST, ALONG SAID NORTH-SOUTH QUARTER SECTION LINE, 1.94 FEET TO THE POINT OF BEGINNING;
EXCEPT AN UNDIVIDED 1/2 INTEREST IN AND TO ALL OIL, GAS AND MINERAL RIGHTS APPERTAINING THERETO, AS RESERVED IN INSTRUMENT RECORDED IN DOCKET 324, PAGE 137, RECORDS OF MARICOPA COUNTY, ARIZONA.

PARCEL NO. 7:
THE SOUTH 137.04 FEET OF THE FOLLOWING DESCRIBED PROPERTY:
THE EAST HALF OF THE WEST HALF OF THE WEST HALF OF THE WEST HALF OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;
EXCEPT THE SOUTH 775 FEET THEREOF, AND

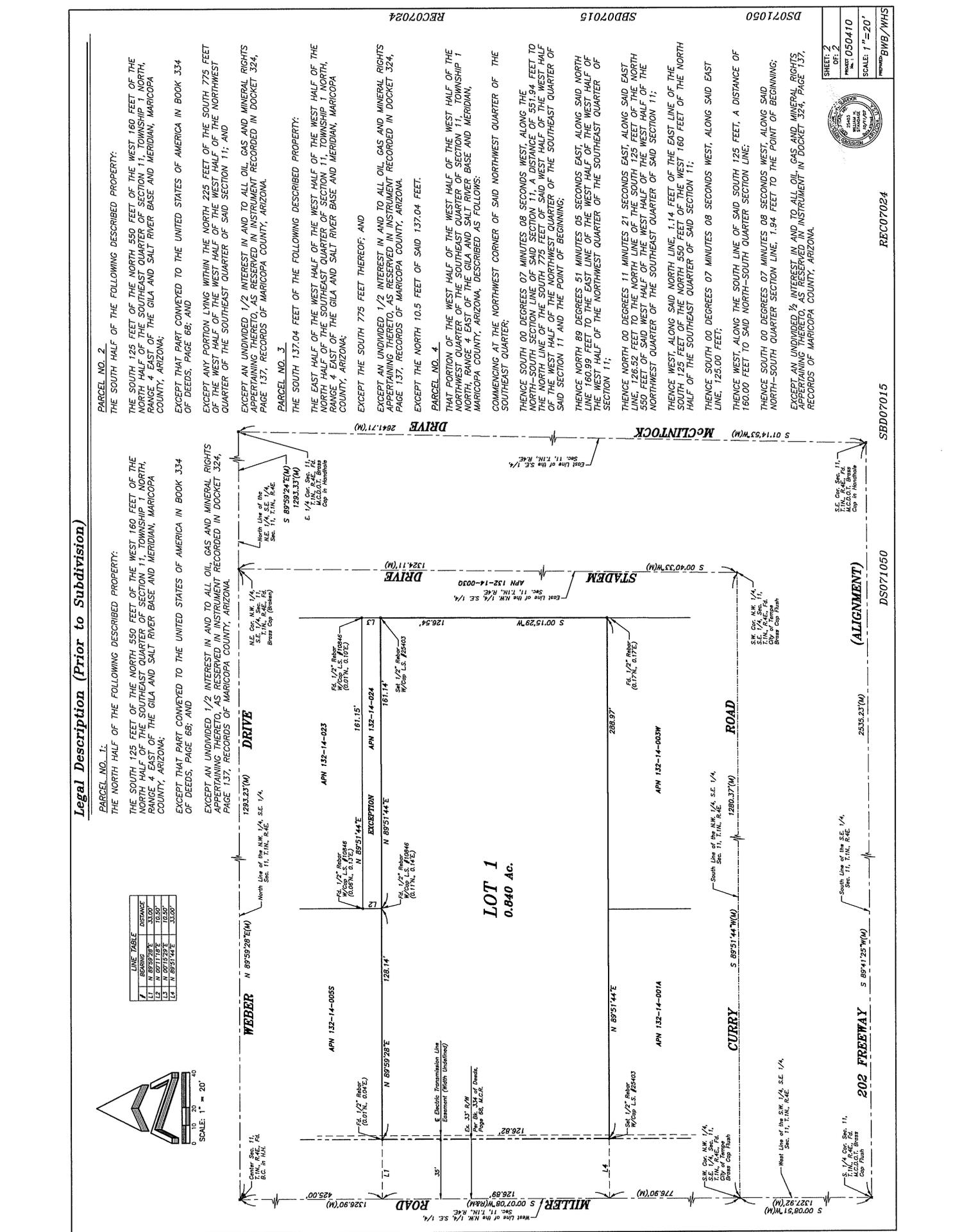
PARCEL NO. 8:
THAT PORTION OF THE WEST HALF OF THE WEST HALF OF THE WEST HALF OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHWEST QUARTER OF THE SOUTHWEST QUARTER;
THENCE SOUTH 00 DEGREES 07 MINUTES 08 SECONDS WEST, ALONG SAID EAST LINE, 128.52 FEET TO THE NORTH LINE OF THE SOUTH 125 FEET OF THE NORTHWEST QUARTER OF THE WEST HALF OF THE WEST HALF OF SAID SECTION 11;
THENCE WEST, ALONG THE SOUTH LINE OF SAID SOUTH 125 FEET, A DISTANCE OF 160.00 FEET TO SAID NORTH-SOUTH QUARTER SECTION LINE;
THENCE SOUTH 00 DEGREES 07 MINUTES 08 SECONDS WEST, ALONG SAID NORTH-SOUTH QUARTER SECTION LINE, 1.94 FEET TO THE POINT OF BEGINNING;
EXCEPT AN UNDIVIDED 1/2 INTEREST IN AND TO ALL OIL, GAS AND MINERAL RIGHTS APPERTAINING THERETO, AS RESERVED IN INSTRUMENT RECORDED IN DOCKET 324, PAGE 137, RECORDS OF MARICOPA COUNTY, ARIZONA.

PARCEL NO. 9:
THE SOUTH 137.04 FEET OF THE FOLLOWING DESCRIBED PROPERTY:
THE EAST HALF OF THE WEST HALF OF THE WEST HALF OF THE WEST HALF OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;
EXCEPT THE SOUTH 775 FEET THEREOF, AND

PARCEL NO. 10:
THAT PORTION OF THE WEST HALF OF THE WEST HALF OF THE WEST HALF OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHWEST QUARTER OF THE SOUTHWEST QUARTER;
THENCE SOUTH 00 DEGREES 07 MINUTES 08 SECONDS WEST, ALONG SAID EAST LINE, 128.52 FEET TO THE NORTH LINE OF THE SOUTH 125 FEET OF THE NORTHWEST QUARTER OF THE WEST HALF OF THE WEST HALF OF SAID SECTION 11;
THENCE WEST, ALONG THE SOUTH LINE OF SAID SOUTH 125 FEET, A DISTANCE OF 160.00 FEET TO SAID NORTH-SOUTH QUARTER SECTION LINE;
THENCE SOUTH 00 DEGREES 07 MINUTES 08 SECONDS WEST, ALONG SAID NORTH-SOUTH QUARTER SECTION LINE, 1.94 FEET TO THE POINT OF BEGINNING;
EXCEPT AN UNDIVIDED 1/2 INTEREST IN AND TO ALL OIL, GAS AND MINERAL RIGHTS APPERTAINING THERETO, AS RESERVED IN INSTRUMENT RECORDED IN DOCKET 324, PAGE 137, RECORDS OF MARICOPA COUNTY, ARIZONA.

PARCEL NO. 11:
THE NORTH HALF OF THE FOLLOWING DESCRIBED PROPERTY:
THE SOUTH 125 FEET OF THE NORTH 550 FEET OF THE WEST 160 FEET OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;
EXCEPT THAT PART CONVEYED TO THE UNITED STATES OF AMERICA IN BOOK 334 OF DEEDS, PAGE 66; AND

PARCEL NO. 12:
THE SOUTH HALF OF THE FOLLOWING DESCRIBED PROPERTY:
THE SOUTH 125 FEET OF THE NORTH 550 FEET OF THE WEST 160 FEET OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;
EXCEPT THAT PART CONVEYED TO THE UNITED STATES OF AMERICA IN BOOK 334 OF DEEDS, PAGE 66; AND



LOT 1
0.840 AC.

SHEET 2 OF 2
PROJECT 050410
SCALE: 1"=20'
INVESTIGATOR BWB/WHS



RECORD 7024

SBD07015

DS071050

RECORD 7024

SBD07015

DS071050

RECORD 7024