

Staff Summary Report



Development Review Commission Date: 01/22/08

Agenda Item Number: _____

SUBJECT: Hold a public hearing for a Use Permit and Development Plan Review for **WACHOVIA BANK** located at 915 E. Baseline Road.

DOCUMENT NAME: DRCr_Wachovia_012208

PLANNED DEVELOPMENT (0406)

SUPPORTING DOCS: Yes

COMMENTS: Request for **WACHOVIA BANK (PL070526)** consists of a one story financial building, with approximately 3,988 s.f., on .89 net acres, in the PCC-1 Planned Commercial Center Neighborhood, Zoning District. The request includes the following:

ZUP07205 – Use Permit to exceed 125% of allowed parking, to allow 22 parking spaces.

DPR07256 – Development Plan Review including site plan, building elevations, and landscape plan.

PREPARED BY: Diana Kaminski, Senior Planner (480-858-2391)

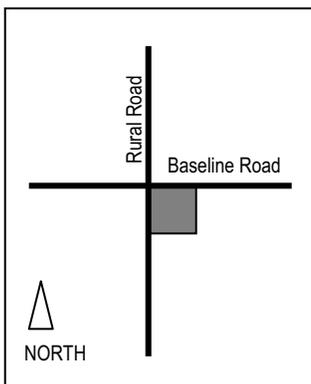
REVIEWED BY: Lisa Collins, Planning Director (480-350-8989) *LC*

LEGAL REVIEW BY: N/A

FISCAL NOTE: N/A

RECOMMENDATION: Staff – Approval, subject to conditions (1-20).

ADDITIONAL INFO:



Location The south east corner of Rural Road and Baseline.
Current land use and density for this site is Commercial, up to 25 du/ac.
Current zoning for this site is PCC-1.
Existing use is a gas station.

Gross/Net site area	1.48 / .89 acres
Total Building area	3,988 s.f.
Lot Coverage	10 % (50% maximum allowed)
Building Height	25 ft (35 ft maximum allowed)
Building setbacks	20' front, 30' side, 30' rear, 30' st. side (20, 30, 30, 0 min.)
Landscaped area	33% (15% minimum required)
Vehicle Parking	22 spaces (13 min. required, 17 max allowed)
Bicycle Parking	6 spaces (2 minimum required)

A neighborhood meeting is not required with this application.

- PAGES:**
1. List of Attachments
 - 2-4. Comments / Reasons for Approval
 - 5-7. Conditions of Approval
 - 8-10. Code Requirements
 11. History & Facts / Zoning & Development Code Reference

- ATTACHMENTS:**
1. Location Map
 2. Aerial Photo
 - 3-7. Letters of Explanation
 - 8-9. Site plans (Cover Sheet, Proposed Site Plan)
 10. Floor plan
 - 11-12. Building Elevations
 - 13-14. Building Sections
 15. Landscape Plan
 - 16-19. Photographs, etc.
 - 20-21. Color Elevations

COMMENTS:

The applicant is requesting the Development Review Commission take action on a Development Plan Review for a new 3,988 square-foot bank, and Use Permit to exceed the allowable 125% maximum parking. No further entitlement processing is required beyond this request.

PROJECT ANALYSIS

USE PERMIT

The proposed use requires a use permit, to allow 22 parking spaces for a bank use, in excess of the allowed 17 maximum. The proposed bank use requires 13 parking spaces, with a maximum of 17 allowed. The applicant is requesting a use permit to allow 22 parking spaces, a 177% increase over the required parking, or 5 additional spaces to accommodate the tenant's employees. Wachovia bank may have as many as 12 employees on site at one time; providing 22 parking spaces assures that there is sufficient customer parking on site.

Section 6-308 E Approval criteria for Use Permit:

1. The proposed parking will not be detrimental to persons residing or working in the vicinity, to adjacent property, to the neighborhood, or to the public welfare in general, and that the use will be in full conformity to any conditions, requirement or standards prescribed therefore by this code.
 - o The proposed bank would have reduced hours of operation in comparison to the existing gas station. The bank would have walk-up and drive through ATM machines and on-site security to facilitate safe financial transactions. The existing gas station was a 24 hour facility. The proposed bank drive-through hours are Monday-Friday 8am-6pm, Saturday 9am-12pm and the lobby hours are Monday-Thursday 9am-5pm, Friday 9am-6pm and Saturday 9am-12pm.
2. There will not be a significant increase in vehicular or pedestrian traffic. The current gas station has approximately 6 parking spaces designated, but a large area for vehicle fueling, providing fast turn over of vehicle traffic to the site. The proposed site will reduce the amount of traffic entering and exiting the site by approximately 600 trips per day. The requested additional parking spaces would be for employee parking, and would not result in a high turnover of vehicle traffic.
3. The addition of five parking spaces above the allowed 17 is not anticipated to create a nuisance from the emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding that of ambient conditions. The proposed site will reduce the amount of traffic entering and exiting the site by approximately 600 trips per day. This, in turn, will reduce the amount of noise, odor, dust, vibration, and smoke from the property.
4. The proposed development will provide a new LEED Silver certified building in Tempe, becoming one of the first commercial projects of its kind in Tempe. The additional 5 parking spaces will not contribute to the deterioration of the neighborhood or to the downgrading of property values; the proposed use is not in conflict with the goals objectives or policies for rehabilitation, redevelopment or conservation as set forth in the city's adopted plans or General Plan. To mitigate the heat island impacts, there have been a few modifications to the site. There has been an increase of planting area. The proposed site has also added an additional 12 trees throughout the site. There has also been a significant drop in the amount of asphalt area on the proposed site. The existing site had approximately 28,000 s.f of asphalt/concrete, while the proposed site provides an approximate 19,500 s.f.
5. The proposed parking spaces are compatible with existing surrounding structures and uses because they are setback from both streets with a landscape buffer and screened by an existing screen wall with gaps within this wall filled in with new screen wall.
6. The proposed parking spaces have been designed to have adequate control of disruptive behavior both inside and outside the premises preventing any nuisance to the surrounding area or general public. The proposed parking and drive-thru areas are separated from both the public right of way and adjacent properties by screen walls and landscaping, thus reducing the affect of headlights and noise

on both the street and the adjacent residential area. The proposed site lighting will be designed such that the light does not spill over the property lines. The bank use will provide a professional service to the surrounding community, adjacent properties, and people living and working in the area which will not be a nuisance.

DEVELOPMENT PLAN REVIEW

Site Plan

The site is located on the south east corner of Baseline and Rural Roads and uses existing driveway entrances into the property. The driveway entrances are improved to meet current standards, and the drive-through banking services are located on the back (west) side of the building. Parking spaces are screened behind an existing screen wall and proposed new landscape material. The entrance to the building is located on the east side, where a walk-up ATM is also planned. Lighting will comply with all code requirements. The site will conform to the accessibility standards of the ADA. Vehicular circulation minimizes pedestrian conflicts with safe, separate circulation for pedestrians and sufficient bicycle parking for both employees and guests. The site meets the design standards for this zoning district and this use.

Building Elevations

The building is modern style architecture, with varying rooflines breaking up the massing blocks. Strong horizontal elements are contrasted by a vertical tower clad in metal siding; the tower is the tallest portion of the building, at 25 feet high. Materials included are tan and taupe warm-toned masonry brick veneers and two metal panel systems in steel grey and egg-shell white colors. Glazing is clear at the ground level and frosted at the clerestory level. All windows and doors are framed in an aluminum storefront. The materials are compatible with the surroundings. The colors are neutral, and neither adds nor detracts from the surrounding building context. The building height and scale is appropriate to the site and surroundings, and provides visual surveillance of the site with ground level windows. Larger building masses are divided into smaller sections using the combination of brick, metal panel and glazing. The building uses architecturally integrated sunshades, high performance glazing and is proposed to be a LEED Silver certified building; making it one of the first private commercial buildings of this type in Tempe.

Landscape Plan

The existing landscape will be significantly disturbed by construction; none of the existing plant material will remain. The neighborhood surrounding the site uses Pine and Olive trees; in order to make the site consistent with the neighborhood, the landscape architect chose to take out the Bottle trees and replant with Mondel Pine and Swan Hill Olive. The Purple Plum tree is used within the property boundaries, as a color and texture contrast. New shrubs and ground cover will conform to the Arizona Department of Water Resources low-water plant list. The combined plant palette is intended to integrate with the existing Lakes context, while update the site with newer plant species which provide year-round color and texture.

Section 6-306 D Approval criteria for Development Plan Review

1. The placement of building maximizes natural surveillance and visibility of pedestrian areas, enhances the character of the surrounding area, facilitates pedestrian access and circulation and mitigates heat gain and retention.
2. Materials are of superior quality and compatible with the surroundings
3. Buildings and landscape elements have proper scale with the site and surroundings
4. Large building masses are divided into smaller components that create a human-scale as viewed from the sidewalk
5. Building facades have windows on the ground level to increase security of adjacent outdoor spaces by maximizing natural surveillance and visibility
6. On-site utilities are placed underground.
7. Clear and well lighted walkways connect building entrances to one another and to adjacent sidewalks.
8. Accessibility is provided in conformance with the Americans with Disabilities Act (ADA).

9. Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses. Traffic impacts are minimized in conformance with the city transportation policies, plans and design criteria.
10. Safe and orderly circulation separates pedestrian and bicycles from vehicular traffic.
11. Plans integrate crime prevention principles such as territoriality, natural surveillance, activity support, and maintenance.
12. Landscape accents and separates parking, buildings, driveways and pedestrian walkways.

Conclusion

Based on the information provided by the applicant and the above analysis, staff recommends approval of the requested Use Permit and Development Plan Review. This request meets the required criteria and will conform to the conditions 1-23.

REASONS FOR APPROVAL:

1. The project meets the General Plan Projected Land Use for this site.
2. The project will meet the development standards required under the Zoning and Development Code.
3. The proposed project meets the approval criteria for a Use Permit and a Development Plan Review.

CONDITIONS OF APPROVAL

General

1. Your drawings must be submitted to the Development Services Building Safety Division for building permit by January 22, 2008 or Development Plan approval will expire.
2. Any change in use that requires different parking calculations must comply to the code requirements for that use.
3. Any expansion or intensification of use shall require a new use permit to be approved.
4. The use permit is valid for the plans as submitted to and approved by the Development Review Commission.

Site Plan

5. Provide 8'-0" wide public sidewalk along arterial roadways, or as required by Traffic Engineering Design Criteria and Standard Details.
6. Provide service yard and mechanical yard walls that are at least 8'-0" tall as measured from adjacent grade and are at least the height of the equipment being enclosed, whichever is greater. Verify height of equipment and mounting base to ensure that wall height is adequate to fully screen the equipment. Locate electrical service entrance sections inside the service yard, as indicated.
7. Provide upgraded paving at each driveway apron consisting of unit paving. Extend unit paving in the driveway from the back of the accessible public sidewalk bypass to 20'-0" on site and from curb to curb at the drive edges.
8. Utility equipment boxes for this development shall be finished in a neutral color (subject to utility provider approval) that compliments the coloring of the buildings.

Building Elevations

9. The materials and colors are approved as presented:
Primary building color – Smooth faced brick *Coliseum* (south, east and west elevations) and Spanish Moss (east and north elevations)
Accent Tower – metal tower panel in silver/grey
Drive-through canopy and parapet accent - off white painted metal
Window mullions – Anodized aluminum frame
Clerestory Glazing – frosted glass
Provide main colors and materials with a light reflectance value of 75 percent or less. Specific colors and materials exhibited on the materials sample board are approved by planning staff. Submit any additions or modifications for review during building plan check process. Planning inspection staff will field verify colors and materials during the construction phase.
10. Provide secure roof access from the interior of the building. Do not expose roof access to public view.
11. Conceal roof drainage system within the interior of the building. Minimize visible, external features, such as overflows, and where needed design these to enhance the architecture of the building.
12. Incorporate lighting, address signs, incidental equipment attachments (alarm klaxons, security cameras, etc.) where exposed into the design of the building elevations so that the architecture is enhanced by these elements.

13. Locate the electrical service entrance section (S.E.S.) inside the building or inside a secure yard that is concealed from public view.
14. Exposed conduit, piping, etc. is not allowed unless a creative conduit surface design that compliments the architecture is reviewed and approved by the Development Review Commission.

Lighting

15. Illuminate building entrances from dusk to dawn to assist with visual surveillance.

Landscape

16. The following plants are approved as proposed and specified:

Prunus cerasifera	Purple Plum	24" box
Olea europa 'Swan Hill'	Swan Hill Olive	24" box
Pinus brutia	Mondel Pine	48" box
Callistemon 'Little John'	Bottle Brush	1 gal.
Carissa macrocarpa 'Boxwood Beauty'	Natal Plum	5 gal.
Eremophila maculate 'Valentine'	Eremophila	5 gal.
Muhlenbergia capilaris 'Regal Mist'	Muhlenbergia	1 gal.
Landana montevidensis	Trailing Purple Lantana	1 gal.
Lantana 'New Gold'	New Gold Lantana	1 gal.
Ruellia brittoniana 'Katie'	Katie Ruellia	1 gal.
Decomposed Granite	Gold	¾" minus

Submit any additions or modifications for review during building plan check process. Planning inspection staff will field verify plants.

17. Irrigation notes:

- a. Provide dedicated landscape water meter.
- b. Place exterior, freestanding reduced pressure and double check backflow assemblies in pre-manufactured, pre-finished, lockable cages (one assembly per cage). If backflow prevention or similar device is for a 3" or greater water line, delete cage and provide a masonry or concrete screen wall following the requirements of Standard Detail T-214.
- c. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use of schedule 40 PVC mainline and class 315 PVC ½" feeder line is acceptable. Class 200 PVC feeder line may be used for sizes greater than ½" (if any). Provide details of water distribution system.
- d. Locate valve controller in a vandal resistant housing.
- e. Hardwire power source to controller (a receptacle connection is not allowed).
- f. Controller valve wire conduit may be exposed if the controller remains in the mechanical yard.
- g. Repair existing irrigation system on site or in the adjacent public right of ways where damaged by work of this project. Provide temporary irrigation to existing landscape (on site or in these frontages) for period of time that irrigation system is out of repair. Design irrigation so existing plants on site or in frontages is irrigated as part of the reconfigured system at the conclusion of this construction.

18. Include requirement in site landscape work to de-compact soil in planting areas on site and in public right of way and remove construction debris from planting areas prior to landscape installation.

19. Top dress planting areas with a rock or decomposed granite application. Provide rock or decomposed granite of 2" uniform thickness or less. Provide pre-emergence weed control application and do not underlay rock or decomposed granite application with plastic.

Signage

20. Provide address sign on the building elevation facing the street to which the property is identified, and on the south and east sides.

- a. Conform to the following for building address signs:
 - 1) Provide street number only, not the street name
 - 2) Compose of 12" high, individual mount, metal reverse pan channel characters.
 - 3) Self-illuminated or dedicated light source.
 - 4) Coordinate address signs with trees, vines, or other landscaping, to avoid any potential visual obstruction.
 - 5) Adjust locations on building so sign is unobstructed by trees, vines, etc.
 - 6) Do not affix number or letter to elevation that might be mistaken for the address.
- b. Utility meters shall utilize a minimum 1" number height in accordance with the applicable electrical code and utility company standards.

CODE REQUIREMENTS

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCE THAT PLANNING STAFF OBSERVES ARE PERTINENT TO YOUR CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT. THESE ITEMS ARE NOT AN EXHAUSTIVE LIST.

- Specific requirements of the **Zoning and Development Code** are not listed as a condition of approval, but will apply to any application. To avoid unnecessary review time, and reduce the potential for multiple plan check submittals, it is necessary that the applicant be familiar with the Zoning and Development Code (ZDC), which can be accessed through www.tempe.gov/zoning, or purchased at Development Services.
- **SITE PLAN REVIEW:** Verify all comments by the Public Works Department, Development Services Department, and Fire Department given on the Preliminary Site Plan Reviews dated November 7, 2007. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Department will be reviewed by planning staff to ensure consistency with this Design Review approval prior to issuance of building permits.
- **STANDARD DETAILS:**
 - Tempe Standard "T" details may be accessed through www.tempe.gov/engineering or purchased from the Engineering Division, Public Works Department.
 - Tempe Standard "DS" details for refuse enclosures may be accessed through www.tempe.gov or may be obtained at Development Services.
- **BUILDING HEIGHT:** Measure height of buildings from top of curb along front of property (as defined by Zoning and Development Code).
- **WATER CONSERVATION:** Under an agreement between the City of Tempe and the State of Arizona, Water Conservation Reports are required for landscape and domestic water use for this project. Have the landscape architect and the mechanical engineer prepare reports and submit them with the construction drawings during the building plan check process. Report example is contained in Office Procedure Directive # 59, available from Building Safety (480-350-8341). Contact Pete Smith of Water Resources (480-350-2668) if there are any questions regarding the purpose or content of the water conservation reports.
- **HISTORIC PRESERVATION:** The project site does not have an Archaeologically Sensitive designation. However, State and federal laws apply to the discovery of features or artifacts during site excavation (typically, the discovery of human or associated funerary remains). Where such a discovery is made, contact the Arizona State Historical Museum (520-621-6302) for removal and repatriation of the items. Contact the Tempe Historic Preservation Officer (Joe Nucci 480-350-8870) if questions regarding the process described in this condition.
- **SECURITY REQUIREMENTS**
 - Design building entrance(s) to maximize visual surveillance of vicinity. Limit height of walls or landscape materials, and design columns or corners to discourage to opportunity for ambush opportunity. Distances of 20'-0" or greater, between a pedestrian path of travel and any hidden area allow for increased reaction time and safety.
 - Follow the design guidelines listed under appendix A of the Zoning and Development Code. In particular, reference the CPTED principal listed under A-II Building Design Guidelines (C) as it relates to the location of pedestrian environments and places of concealment.
 - A security vision panel shall be provided at service and exit doors (except to rarely accessed equipment rooms) with a 3" wide high strength plastic or laminated glass window, located between 43" and 66" from the bottom edge of the door.
 - Avoid upper/lower divided glazing panels in exterior windows at grade level, particularly where lower

(reachable) glass panes of a divided pane glass curtain-wall system can be reached and broken for unauthorized entry. Do not propose landscaping or screen walls that conceal area around lower windows. If this mullion pattern is desired for aesthetic concerns, laminated glazing may be considered at these locations.

- FIRE: (Jim Walker 480-350-8341)
 - Fire lanes need to be clearly defined. Ensure that there is at least a 20'-0" horizontal width, and a 14'-0" vertical clearance from the fire lane surface to the underside of tree canopies; or overhead structure, if allowed by Fire Department. Details of fire lane(s) are subject to approval of the Fire Department.
 - Provide a fire command room(s) on the ground floor of the building(s). Verify size and location with Fire Department.

- ENGINEERING AND LAND SERVICES:
 - Underground utilities requirement excludes high-voltage transmission line unless project inserts a structure under the transmission line. Coordinate site layout with Utility provider(s) to provide adequate access easement(s).
 - Clearly indicate property lines, the dimensional relation of the buildings to the property lines and the separation of the buildings from each other.
 - Verify location of any easements, or property restrictions, to ensure no conflict exists with the site layout or foundation design.
 - 100 year onsite retention required for this property, coordinate design with requirements of the Engineering Department.

- REFUSE:
 - Container enclosure indicated on site plan is exclusively for refuse. Construct walls, pad and bollards in conformance with Standard Detail DS-116.
 - Gates for refuse enclosure(s) are not required. If gates are provided, the property manager must arrange for gates to be open from 6:00am to 4:30pm on collection days

- DRIVEWAYS:
 - Construct driveways in public right of way in conformance with Standard Detail T-320. Alternatively, the installation of driveways with return type curbs as indicated, similar to Standard Detail T-319, requires permission of Public Works/Traffic (Shelly Seyler 480-350-8219)
 - Correctly indicate clear vision triangles at both driveways on the site and landscape plans. Identify speed limits for adjacent streets at the site frontages. Begin sight triangle in driveways at point 15'-0" in back of face of curb. Consult "Corner Sight Distance" leaflet, available from Development Services Counter or from John Brusky in Transportation (480-350-8219) if needed. Do not locate site furnishings, screen walls or other visual obstructions over 2'-0" tall (except canopy trees are allowed) within each clear vision triangle.

- PARKING SPACES:
 - Verify conformance of accessible vehicle parking to the Americans with Disabilities Act of 1990 (42 U.S.C.A. §12101 ET SEQ.) and the Code of Federal Regulations Implementing the Act (28 C.F.R., Part 36, Appendix A, Sections 4.1 and 4.6). Refer to Standard Detail T-360 for parking layout and accessible parking signs.
 - At parking areas, provide demarcated accessible aisle for disabled parking.
 - Distribute bike parking areas nearest to main entrance(s). Provide parking loop/rack per standard detail T-578. Provide 2'-0" by 6'-0" individual bicycle parking spaces. One loop may be used to separate two bike parking spaces. Provide clearance between bike spaces and adjacent walkway to allow bike maneuvering in and out of space without interfering with pedestrians, landscape materials or vehicles nearby.

- LIGHTING:
 - Follow requirements of ZDC Part 4 chapter 8
 - Follow the guidelines listed under appendix E “Photometric Plan” of the Zoning and Development Code.
 - Indicate the location of all exterior light fixtures on the site, landscape (and photometric) plans. Avoid conflicts with lights in order to maintain illumination levels for exterior lighting.

- LANDSCAPE:
 - Prepare an existing plant inventory for the site and adjacent street frontages. The inventory may be prepared by the Landscape Architect or a plant salvage specialist. Note original locations and species of native and “protected” trees and other plants on site. Move, preserve in place, or demolish native or “protected” trees and plants per State of Arizona Agricultural Department standards. File Notice of Intent to Clear Land with the Agricultural Department (602-364-0935). Notice of Intent to Clear Land form is available at www.agriculture.state.az.us . Follow the link to “form”, to “native plants”, and to “notice intent to clear land”.

- SIGNS: Obtain sign permit for any identification signs as well as for internally (halo) illuminated address signs. Directional signs (if proposed) may not require a sign permit, depending on size. Directional signs are subject to review by planning staff during plan check process. Separate Development Plan Review process is required for signs ZDC Part 4 Chapter 9 (Signs).

HISTORY & FACTS:

- June 15, 1970 Board of Adjustment approved a Use Permit for Texaco Inc. to permit the construction of a service station at the southeast corner of Baseline and Rural roads in the C-1 District, with five conditions.

- October 20, 1970 Design Review Board approved the site plan and building elevations with three conditions.

- January 18, 1971 Board of Adjustment approved variances for The Lakes to erect identification and directional signs at eight locations, including this site, with five conditions.

- April 7, 1971 Design Review Board approved revised landscape plans for Texaco, Inc. with two conditions.

- September 18, 1980 Design Review Board approved propane storage tank for Lakes Texaco with two conditions.

- October 29, 1981 Board of Adjustment approved a Use Permit for Texaco Inc. to operate a convenience market in conjunction with the existing gas station at 915 E. Baseline Road in the C-1 District, with four conditions.

- May 6 1987 Design Review Board continued the request for building elevations, site and landscape plans by Texaco Gas Station.

- May 20, 1987 Design Review Board approved the request for building elevations, site and landscape plans by Texaco Gas Station subject to eleven conditions.

- August 5, 1987 Design Review Board approved the request for building elevations, site and landscape plans for Texaco Car Wash subject to four conditions.

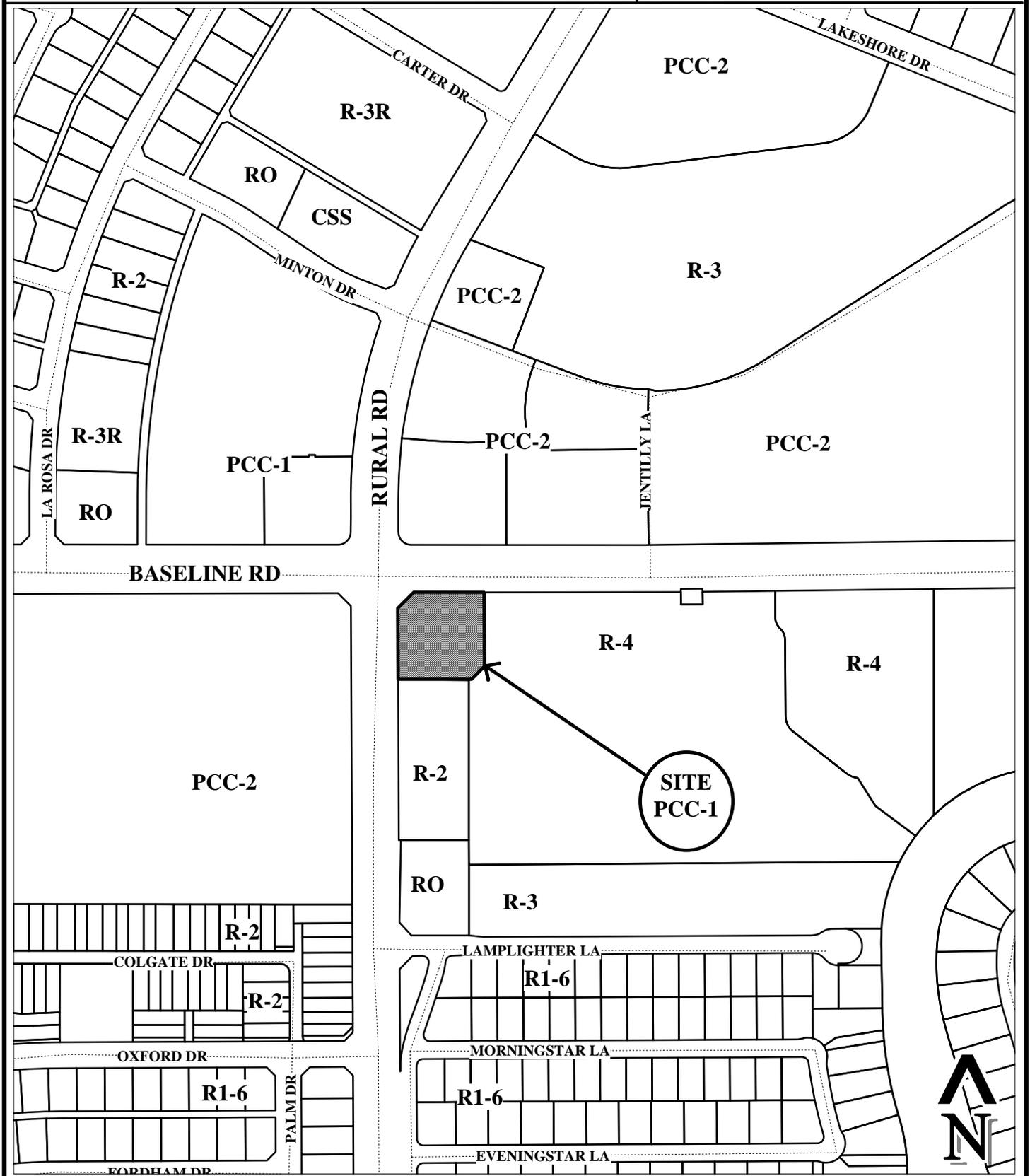
- August 13, 1987 City Council ZON88.14 SFG-87.52 approved the request for a zoning change from C-1 to PCC-1 and a General and Final Plan of Development for Texaco Convenience Mart and Car Wash consisting of 2112 s.f. on .89 acres located at 915 E. Baseline.

ZONING AND DEVELOPMENT CODE REFERENCE:

Section 6-306, Development Plan Review
Section 6-308, Use Permit

WACHOVIA BANK

PL070526





WACHOVIA BANK (PL070474)

Letter of Explanation

Wachovia is a diversified financial services company that provides a broad range of retail banking and brokerage, asset and wealth management, and corporate and investment banking products and services. Wachovia has retail and commercial banking operations in 21. This project is a proposed bank that will be constructed after the demolition and removal of the existing gas station.

The proposed building will be a LEED[®] Silver certified building. The project will include architecturally integrated sunshade devices as well as high performance glazing to provide energy conservation and comfort to occupants. Exterior materials will be high quality, durable, and colors that will be compatible with the surroundings.

This single story building will be of proper scale for the site and surroundings. The size of the building leaves a great deal of open space and landscape areas on the site. Retention will be placed both under ground and above ground.

The building has a clear base and top. The base of the building is defined with the brick material which gives a sense of strength and stature to the building. The top of the building steps back from the base and is defined by the clerestory glazing and metal panel façade.

The façade has architectural detail and ground level punched windows and storefront which provide visual interest. The windows and storefront are also designed in key areas to increase security and provide surveillance and visibility.

The storefront windows and doors are divided with mullions both vertically and horizontally, to provide a sense of human scale and proportionality.

The interior and exterior improvements on this site will be designed such that accessibility meets required codes and ordinances. The exterior accessible route of travel provides convenient and safe access to the public sidewalk and the existing bus stop on Baseline Road.

Crime prevention principles have been implemented in this design. All areas that could be construed as ambush alcoves have been designed with thorny landscaping and adequate lighting discourage entry to these areas. Also, the drive thru has been designed such that the ATM is installed within the building and only pneumatic tubes serve the lanes outboard from the building. This eliminates the need for wrought iron fencing between the lanes. All areas near the drive up and walk up ATMs will be designed with adequate lighting for security.

Site lighting will be integrated into the building and site such that it will not create negative affects to the site and surrounding uses.

Letter of Explanation—Use Permit

Wachovia is a diversified financial services company that provides a broad range of retail banking and brokerage, asset and wealth management, and corporate and investment banking products and services. Wachovia has retail and commercial banking operations in 21. This project is a proposed bank that will be constructed after the demolition and removal of the existing gas station.

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Site lighting will be integrated into the building and site such that it will not create negative affects to the site and surrounding uses.

The site proposes more than the allowable parking under section 4-603C of the Zoning and Development Code. The project proposes 22 stalls with 2 ADA stalls. The code minimum for the site is 14 stalls and a maximum of 125% (17.5 stalls). The bank will have up to 12 people working at once. By providing 22 stalls, we'll be allowing for 10 customer parking stalls. The proposed Use Permit is respectfully requesting approval of the additional parking stalls.

By providing the extra parking the impact to adjacent properties will be minimized. We also believe this use will lower the hours and use at the property compared with the current gas station use. There will be no odors, noise, dust, etc. produced from this use. The proposed bank will be an enhancement to the site from the existing condition, due to reduced hours, enhanced architecture, and no hazardous materials being used.



Letter of Explanation—Use Permit

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The building has a clear base and top. The base of the building is defined with the brick material which gives a sense of strength and stature to the building. The top of the building steps back from the base and is defined by the clerestory glazing and metal panel facade.

Diana,

In response to the requested information for the Use Permit, we have provided additional information below.

1 & 2. The existing gas station was a 24 hour facility. The proposed bank drive-through hours are Monday-Friday 8am-6pm, Saturday 9am-12pm and the lobby hours are Monday-Thursday 9am-5pm, Friday 9am-6pm and Saturday 9am-12pm. As you can see by the numbers below, the proposed site will reduce the amount of traffic entering and exiting the site by approximately 600 trips per day. This, in turn, will reduce the amount of noise, odor, dust, vibration, and smoke from the property.

-Existing Gas station with convenience store and car wash= 1,834 trips per day (per ITE manual)

-Proposed Bank with 2 drive through and one ATM=1,234 trips per day (per ITE manual)

4. To mitigate the heat island impacts, There have been a few modifications to the site. First, there has been an increase of planting area. The proposed site has also added an additional 12 trees throughout the site. There has also been a significant drop in the amount of asphalt area on the proposed site. The existing site had approximately 28,000 s.f of asphalt/concrete, while the proposed site provides an approximate 19,500 s.f.

5. The proposed building is compatible with the surroundings because the building is of the same scale as the surrounding structures. The proposed bank use is compatible with the surroundings because there are existing retail, service, and bank establishments adjacent to the subject site across both Rural and Baseline Roads. The proposed parking spaces are compatible with the surroundings because they are setback from both streets with a landscape buffer and screened by an existing screen wall with missing portions of wall infilled with new.

6. The proposed building, use, and parking spaces have been designed to prevent any nuisance to the surrounding area or general public based on the following. The proposed parking and drive-thru areas are separated from both the public right of way and adjacent properties by screen walls and landscaping, thus reducing the affect of headlights and noise on both the street and the adjacent residential area. The proposed site lighting will be designed such that the light does not spill over the property lines. The bank use will provide a professional service to the surrounding community, adjacent properties, and people living and working in the area which will not be a nuisance.

Eric Williams | Olsson Associates
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(Phone) 602.748.1000
(Direct) 480.333.4327
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ewilliams@oaconsulting.com

OWNER:
 WACHOVIA
 19th Floor
 301 South Tryon Street
 Charlotte, NC 28288

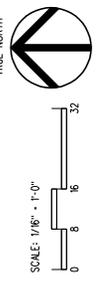
WACHOVIA
 SITE: RURAL & BASELINE
 916 EAST BASELINE ROAD
 TEMPE, AZ 85283
 PROJECT NUMBER: 207237.08

CALLISON
 1420 Fifth Avenue #2400
 Seattle, WA 98101
 P 206 423 4646
 F 206 423 4625
 www.callison.com

**DEVELOPER'S PLAN
 NOT FOR CONSTRUCTION**

ISSUED / REVISED	DATE
DEVELOPMENT PLAN - 120407	
REVIEW	
DEVELOPMENT PLAN - 010309	
REVIEW	

REVISION PLAN REVIEW:
 JANUARY 05, 2009
SITE PLAN
A-102

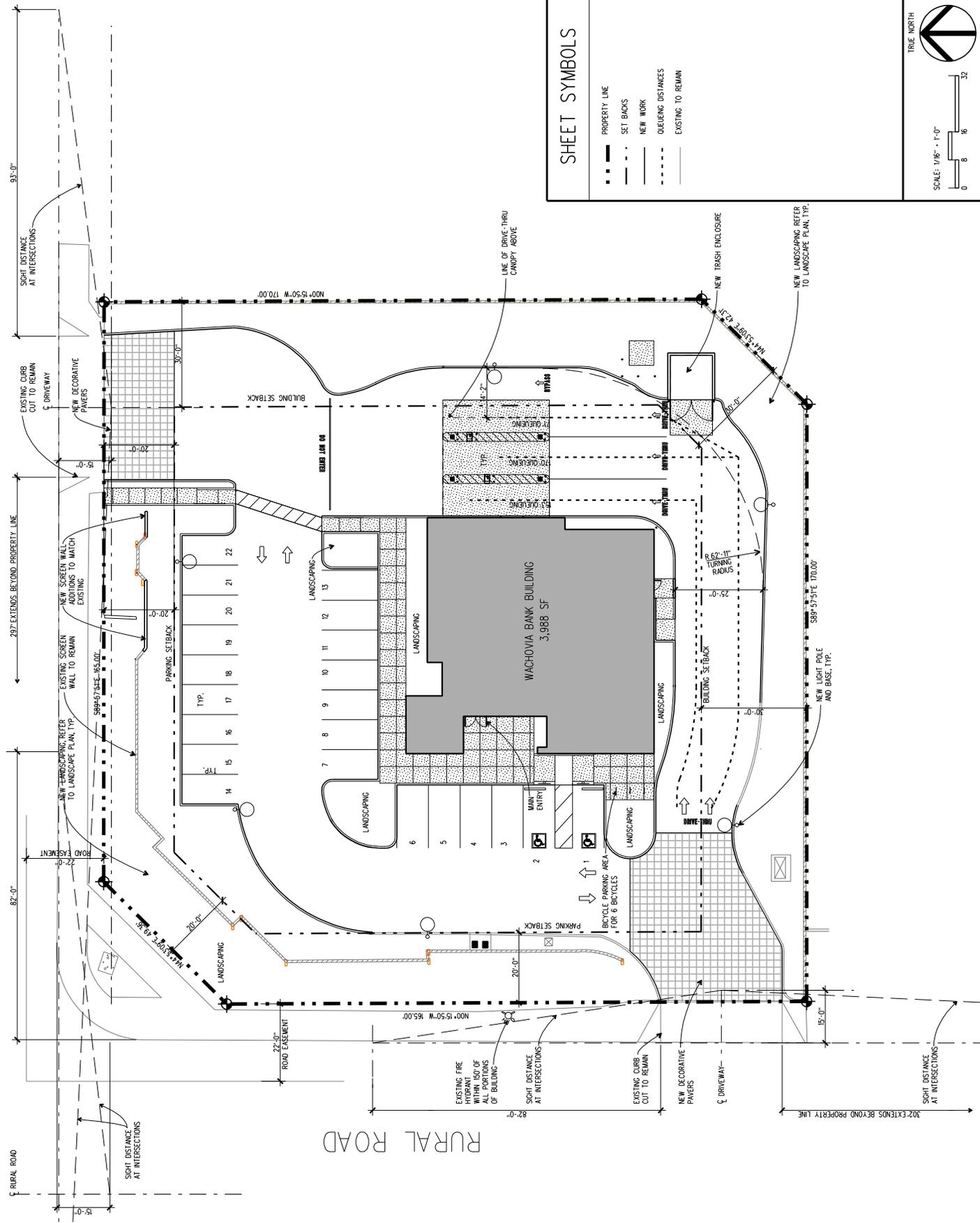


SHEET SYMBOLS

- PROPERTY LINE
- SET BACKS
- NEW WORK
- QUEUING DISTANCES
- EXISTING TO REMAIN

BASELINE ROAD

RURAL ROAD



OWNER:
 WACHOVIA
 Two Wachovia Center
 19th Floor
 301 South Tryon Street
 Charlotte, NC 28288

WACHOVIA
 SITE: RURAL & BASELINE
 916 EAST BASELINE ROAD
 TEMPE, AZ 85283
 PROJECT NUMBER: 207237.08

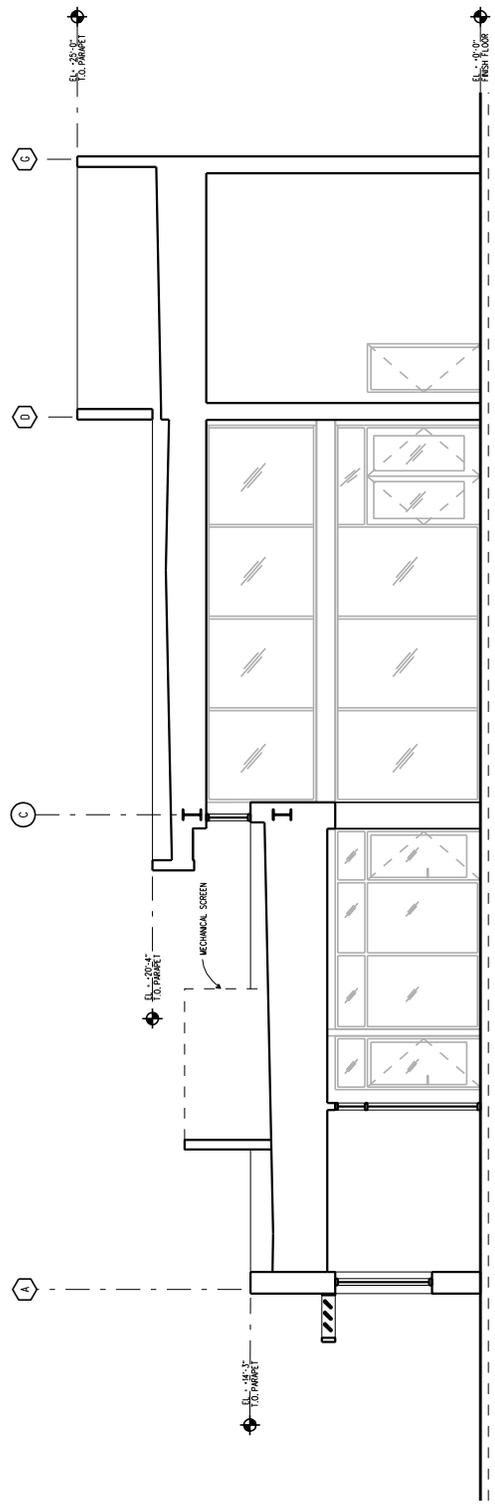
CALLISON
 1420 Fifth Avenue #2400
 Seattle, WA 98101
 P 206 823 4848
 F 206 823 4825
 www.callison.com

**DEVELOPER PLAN
 REVIEW FOR CONSTRUCTION**

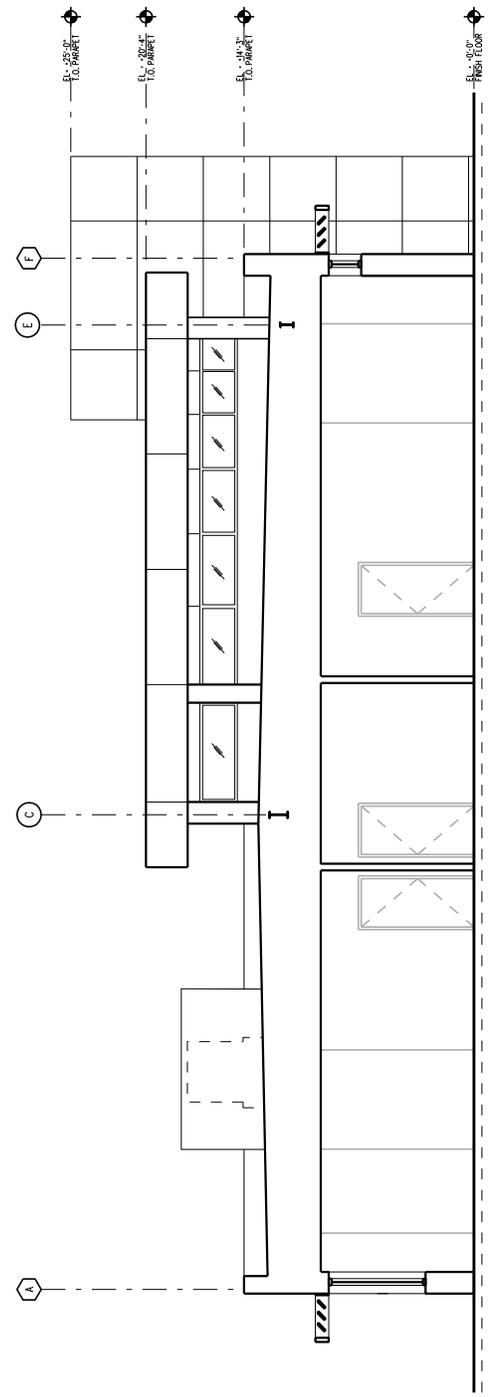
ISSUED / REVISED	DATE
DEVELOPMENT PLAN	12/04/07
REVIEW	
DEVELOPMENT PLAN	01/03/09
REVIEW	REVISION 1

DEVELOPMENT PLAN REVIEW
 REVISION 1
 JANUARY 03, 2009

BUILDING SECTIONS
A-203



D1 BUILDING SECTION
 SCALE: 1/4" = 1'-0"

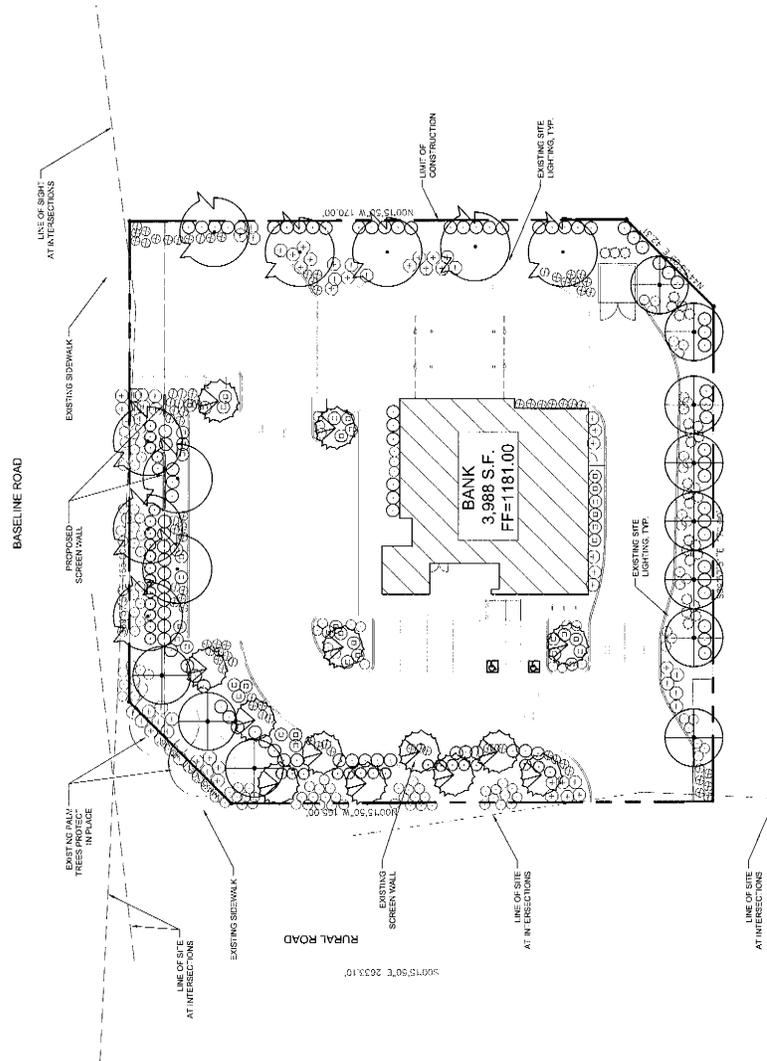


A1 BUILDING SECTION
 SCALE: 1/4" = 1'-0"

PRELIMINARY DEVELOPMENT WACHOVIA BANK RURAL AND BASELINE

TRACT M, THE LAKES, BOOK 131, PAGE 36, MCR, LOCATED IN THE NORTH
HALF OF SECTION 2, TOWNSHIP 1 SOUTH, RANGE 4 EAST, OF THE GILA AND
SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

SHEET 2 OF 11: 6/26/21



PLANT LEGEND		COMMON NAME	QTY	SIZE
TREES				
	<i>Prunus Cerasifera</i>	Purple Plum	13	24" Box
	<i>Q. europa 'Swan Hill'</i>	Swan Hill Olive	10	24" Box
	<i>Pinus brutia</i>	Mordel Pine	11	48" Box
SHRUBS				
	<i>Callistemon 'Little John'</i>	Little John Bottle Brush	41	1 Gal.
	<i>Carissa microcarpa 'Boxwood Beauty'</i>	Boxwood Beauty Natal Plum	93	5 Gal.
	<i>Fremophila maculata 'Valentine'</i>	Valentine	33	5 Gal.
SUCCULENTS/ACCENTS				
	<i>Muhlenbergia capillaris</i>	'Regal Mist'	28	1 Gal.
GROUNDCOVERS/PERENNIALS				
	<i>Lantana montevidensis</i>	'Trilling Purple Lantana	68	1 Gal.
	<i>Lantana 'New Gold'</i>	New Gold Lantana	127	1 Gal.
	<i>Ruellia brittaniana 'Katie'</i>	Katie Ruella	88	1 Gal.
INERTS				
	Decomposed Granite	Granite Mulch 3/4" minus Cold	13,528	S.F.

- All 24" Box trees shall have a minimum 2" Caliper
- Two palm trees to be saved at corner of Rural and Baseline in ROW at other plant material to be removed.

LANDSCAPE NOTES:

- All trees to be staked or pined.
- All landscape planter areas shall be mulched with 3/4" minus decomposed granite mulch. Refer to landscape plan for all planter areas.
- All planter areas shall be watered by an underground automatic irrigation system. All landscape planter areas will have full coverage with drip or bubbler type heads. Automatic Rain Sensors will be provided to the irrigation system. Landlord to provide irrigation coverage to planter areas for the remaining site.
- All landscape areas shall be kept free of trash, litter, weeds, pests, and other such elements. Hand-pulling weeds is necessary. Pruning for health and shape, adjust watering schedules per season, and slow-release fertilization as necessary.
- All trees to be maintained at a distance of 6'-8" from top of paving to bottom of lowest branch.
- All trees and shrubs located in the line-of-sight will be maintained for a clear area between 3' and 6'-8".
- All landscaping installed with this project shall be maintained by Owner.
- Tree heights and calipers will comply with Arizona Nursery Association Specifications.

LINEAL FOOT OF ROW = 302 LF
TREES REQUIRED = 10
TREES PROVIDED = 10



PRELIMINARY LANDSCAPE PLAN

SCALE: 1"=20'

PROJECT: CASPER RD 132
CALL FOR MORE INFO
802-263-1100
WWW.ASSOCIATES.COM
SUNSHINE LANDSCAPE ARCHITECT
SUNSHINE LANDSCAPE ARCHITECT
SUNSHINE LANDSCAPE ARCHITECT

SHEET
LS01
1 of 1

PRELIMINARY LANDSCAPE PLAN
WACHOVIA BANK
915 E. BASELINE ROAD
TEMPE, ARIZONA 85283

NO.	DATE	REVISIONS DESCRIPTION
1		

PRELIMINARY NOT FOR CONSTRUCTION



ASSOCIATES

2225 North 16th Street, Suite 210
Phoenix, AZ 85016
TEL: 602.742.1000
WWW.ASSOCIATES.COM



PHOTO 2



PHOTO 1



PHOTO 3



PHOTO 5



PHOTO 4



PHOTO 6

PHOTO 8



PHOTO 10



PHOTO 7



PHOTO 9





PHOTO 12



PHOTO 11

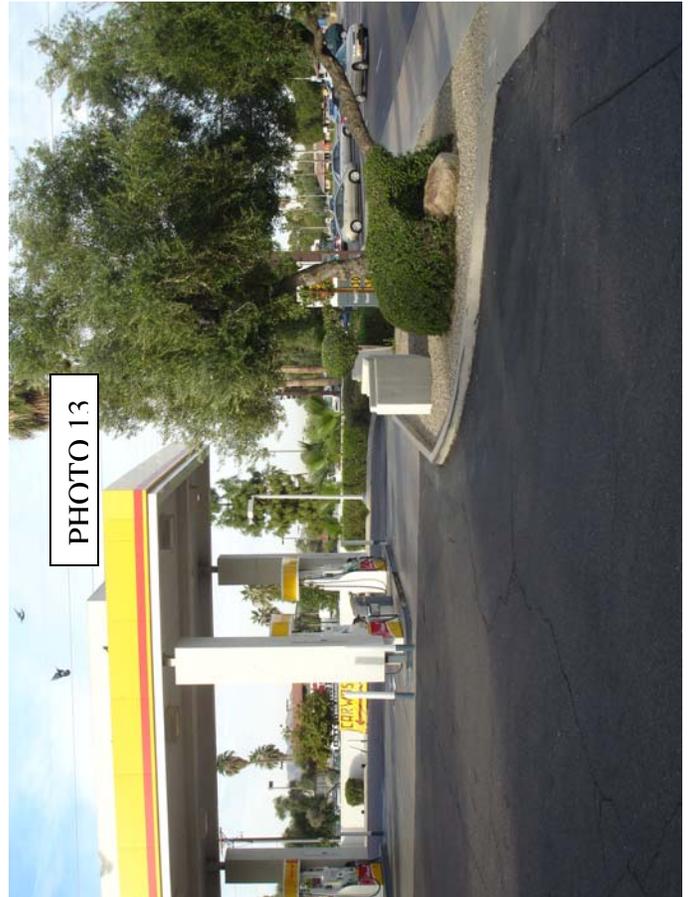


PHOTO 13