

Staff Summary Report



Development Review Commission Date: **06/26/07**

Agenda Item Number: **__7__**

SUBJECT: Hold a public meeting for a Development Plan Review for 5TH & MILL BUILDING located at 425 South Mill Avenue.

DOCUMENT NAME: DRCr_5th&MillBldg_062607

PLANNED DEVELOPMENT (0406)

SUPPORTING DOCS: Yes

COMMENTS: Request for **5TH & MILL BUILDING (PL070001)** (Don & Mei Plato, property owners; Eric Vollmer, Architekton, applicant) for a 13,963 s.f. building addition totaling 21,759 s.f. in building area, located at 425 South Mill Avenue, in the CC, City Center District, within the Transportation Overlay District Station Area, including the following:

DPR07021 – Development Plan Review including site plan, building elevations, and landscape plan.

PREPARED BY: Diana Kaminski, Senior Planner (480-858-2391)

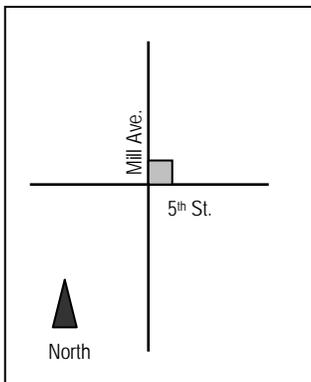
REVIEWED BY: Lisa Collins, Planning Director (480-350-8989) 

LEGAL REVIEW BY: N/A

FISCAL NOTE: N/A

RECOMMENDATION: Continue until July 10th, 2007 to allow time to resolve design issues. If approved by the Commission, approve with conditions 1-24.

ADDITIONAL INFO:



Net site area	0.27 acres
Building area	21,759 s.f. total (includes 13,963 s.f. addition)
Lot Coverage	99% (No Standard)
Building Height	44' (75/100' TOD maximum)
Building setbacks	0' front, 0' side, 0' rear (0, 0, 0 min.)
Landscaped area	0 (No Standard)
Vehicle Parking	7 provided + 8 compact restricted (19 spaces per previous variance) (32 spaces required in TOD Station area, 9 spaces provided in Downtown In Lieu Parking Program)
Bicycle Parking	10 provided (9 minimum required)

A neighborhood meeting is not required for this request.

ATTACHMENTS:

1. List of Attachments
 - 2-4. Comments
 - 4-10. Reasons for Approval / Conditions of Approval
 - 11-12. History & Facts / Zoning & Development Code Reference
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- A. Location Map
 - B. Aerial Photo
 - C. Letter of Explanation
 - D. Site Plan
 - E. Building Elevations
 - F. Building Sections
 - G. Floor Plans
 - H. Landscape Plan
 - I. Building Safety Plan
 - J. General Notes
 - K. Schematic Drainage
 - L. Color Elevations

COMMENTS:

The applicant is requesting approval for a Development Plan Review for the remodel and building addition of the 5th & Mill Building, located at northeast corner of the intersection known as "Fackler Square" at Mill Avenue and 5th Street at 425 South Mill Avenue. The majority of the existing building has been vacant since 2003. Previous uses on this site included an ice cream shop, restaurant, travel agency, flower shop, clothes store and commercial offices. Currently the 5th & Mill Building interior has been completely removed, except for structural elements. This request proposes to modify the existing facades of the building to enclose the existing breezeways and parking lot, wrap the first floor with small retail tenant spaces around 3,875 s.f. of office and a podium level of 15 parking spaces. The second floor would be expanded to house 11,183 s.f. of general office space. The third floor would be added as a 5,008 s.f. residence. There is an existing variance with this property which reduced the parking from the 57 spaces required based on use and square footage to 19 spaces.

Project Analysis

The existing building, completed in 1978, provided restaurant, retail and leasable office space with 19 parking spaces. The project was one of the first redevelopment projects in the area and represents an early, successful effort to bring businesses back to the downtown. The contemporary architectural styling, combined with structural "jumbo" brick, allowed the building to blend with the historic setting, yet differentiate itself ("3 Decades", Tempe Downtown Redevelopment Guide). The proposed expansion of the building retains the existing brick structure, and provides a clear delineation between the "old" and the new construction. The design is a significant departure from the northwest and southeast corners of Fackler Square, and as such, requires special attention to detail as a new focal point on a prominent downtown corner.

Building Height

The proposed additional height (44') is consistent with the Downtown Building Heights study dated March 30, 2006, with this location designated as the "Heritage Core". The maximum recommended building height for this area are, for the first 15 foot lot depth is a maximum height of 50 feet, stepping back up to 75 feet in total height. These limits were established in order to provide consistent elevations with historic related buildings in this area. The Transportation Overlay District allows an additional 25' if residential is added to commercial, allowing up to 100' building height.

Building Design

The building is a contemporary design in the modern style, using materials in their natural finish and retaining the existing light rust-colored brick façade. New grey concrete masonry units form the primary building material. The first and second floors are a combination of clear anodized aluminum mullions, partially reflective clear and green glass and smoked clear glass, picking up elements of the Tempe Transit Center and Tempe Police Complexes located further east along 5th Street. The residential floor uses naturally patinaed steel, and stained wood soffits. Canopies and interior shades use a black shade cloth.

The west and south sides of the building retain the existing brick façade on the first two floors. The first floor elevations include small retail spaces with glass doors that fully open the spaces for greater interaction with the street such as a news stand, urban flower shop or other walk-up type use might need. Shade canopies are provided over these spaces. On the west, south and east walls, a green glazed curtain wall wraps the second floor offices. The third floor is set back from the property edge, providing patio space on the west, south and east sides. Windows are provided on all four sides of the third floor, but are limited on the lower floors on the north elevation by building safety conditions. This same limitation would apply to the east elevation if the no-build easement is not obtained from the adjacent property owner.

The north facing elevation requires a two-hour fire rated wall because it is constructed on the property line. This elevation is somewhat hidden from the building immediately adjacent to the north. Only the parking portion of the building would be visible to properties north of this site, including Tempe Mission Palms and views from the butte. The elevation as proposed is a blank grey cmu wall. The eastern portion of this north

elevation could benefit with some additional color, texture or façade treatment to provide more visual interest on the portion of the building that is exposed.

The proposed plans require building up to the property line, to maximize use of the site. The east elevation would also require a two-hour fire rated wall or a 30-foot building separation (no-build easement) agreement on the property to the east (Tempe Mission Palms). The proposed design of the east elevation has a green screen with Messina Creeper vine on the first floor, screening the view of the parking area, and a green, clear and smoky glass windows on the second floor; due to building code restrictions, these features are not possible if the no-build easement is not obtained. Staff is in support of the proposed east elevation, as long as the required building code issues can be addressed. The no-build easement has not yet been secured; therefore, the proposed design would require modification to provide a two-hour fire rated wall to comply with building safety codes. If the east elevation of this building is modified (as previously presented to staff) to be a solid grey cmu block wall, this is the view that visitors at Tempe Mission Palms, and all downtown patrons coming from the ASU Sun Devil Stadium or the Light Rail station will have as they walk or drive westbound on 5th Street toward Mill Avenue. Staff has provided conditions (10-12) of approval that the two-hour rated wall must be designed to provide four sided architecture.

This project also requires a 4' sewer easement along the east property line, to maintain the existing sewer line east of this site, serving other properties within the downtown. This requirement would further modify the building elevation and footprint of the structure, and affect the remaining on-site parking. There may be alternatives to this requirement, such as applicant relocation of the existing sewer line further onto Tempe Mission Palms property, to provide sufficient room for maintenance of the line. There has been insufficient time to resolve this issue and others prior to this hearing. Staff is recommending continuance of this request until the July 10, 2007 hearing, to provide additional time for the applicant to address the need for four sided architecture at this location. Should the Commission choose to take action on this request, staff is recommending conditions of approval (10-12) to address building code safety issues and design issues.

Landscape

There is limited opportunity for landscape on this property. The existing Ficus Benjamina on Mill Avenue will remain, and new Heritage Oak will be added on 5th Street. No other landscape is proposed for this site. The building covers almost 100% of the property. The roof top patio could benefit from a green roof concept that enabled some vegetation at the third level.

Parking

The parking requirements for this site are very complex. In 1978 a variance was granted to reduce the number of required parking spaces from 57 to 19 for this site. At that time, there was a condition of approval that the applicant pays \$1,250 per parking space, for a total of nine (9) parking spaces to the City towards an In Lieu Parking Program in the Downtown. In 2004, Tempe adopted the Transportation Overlay District, which reduced parking requirements based on square footage and use. The proposed project adds 13,963 square feet of space (5008 residential and 8,955 commercial) to the existing 7,796, to create a new 21,759 s.f. mixed-use building. Below is a chart illustrating the existing entitlements and required parking:

Square Footage	Use	Required Spaces	Deviation from required	Allowed Spaces	Off-Site (In Lieu) Spaces	Provided On-Site Spaces
Existing 7,796	Ice Cream Shop (restaurant)	57	Variance reduction of 33 to 19	19	9	19
Proposed 21,759	Commercial Office & Residence	60	TOD reduction of 28 to 32	19 existing variance	9	7 + 8 compact restricted (these spaces not counted by code)

The proposed development is reconfiguring parking to accommodate accessible parking spaces, and adding two retail spaces which reduce the current 19 spaces by 4, providing 15 for the new development. One of the

parking spaces has a conflict with a mechanical door which opens into the parking space. The proposed development has restricted 8 spaces to compact cars only: leaving seven full size parking spaces, two of these being reserved accessible spaces. Compact vehicle restrictions do not conform to the minimum standards defined in the Zoning and Development Code. With the existing variance allowing 19 spaces, and the existing In Lieu contribution of 9 off-site spaces, staff has determined that a minimum of 10 full-size parking spaces be provided on site. The proposed compact spaces will need to be reconfigured to provide full-size spaces. Staff is recommending continuance of this case until the parking configuration can be resolved. Should the Commission choose to take action on this request, staff is recommending a condition of approval (6) to address this. Additionally, parking may impact potential tenant uses of this site, prohibiting restaurant uses.

Uses

A unique new retail space will be added with this development, through the introduction of small kiosk spaces along both street frontages. Small retail tenant spaces, no greater than eleven (11) feet in depth, open onto the street front with glass bi-fold doors. As many as 6 individual tenants could lease these spaces for small boutique retail uses such as a flower shop, clothing apparel, newsstand or similar small-scale tenants. The second floor has 11,183 s.f. of general office space. The third floor is one 5,008 s.f. residence with a media room and entertainment area adjacent to an outdoor pool and rooftop deck.

Public Input

No neighborhood meeting is required for this request. The applicant has met informally with the Mill Avenue District (DTC, Downtown Tempe Community) regarding potential remodeling but without any specific recommendation. No additional input has been provided from the public at this time.

Conclusion

The proposed improvements to the existing 5th & Mill Building will further enhance the area by providing additional tenants with the downtown's most prominent intersection. Staff is supportive of the proposed project, and has been working with the applicant to address outstanding issues. However, the applicant desired a hearing before the Development Review Commission prior to resolution of the aforementioned issues. For this reason, staff is recommending continuance of this case until July 10, 2007, to enable the applicant to provide revised drawings that meet the Zoning and Development Code and International Building Code requirements. Should the Commission chose to act favorably upon this request at this meeting, and not continue the case, staff recommends conditions of approval enumerated below.

REASONS FOR APPROVAL:

1. With conditions, the proposed development is in conformance with the General Plan 2030 land use and density, and the goals and objectives of the elements within the plan.
2. With conditions, the proposed development is in conformance with the Zoning and Development Code, and fulfills the intent of the Transportation Overlay District Station Area requirements.
3. The proposed design is consistent with the *Downtown Building Heights Concept Study*, showing a maximum building height not exceeding 50 feet.
4. The proposed design provides a building pattern consistent with the historic architecture and scale of this area, while providing contemporary elements that do not emulate a false sense of history.

CONDITIONS OF APPROVAL:

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. DEVELOPMENT REVIEW COMMISSION MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS. THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCE THAT PLANNING STAFF OBSERVES ARE PERTINENT TO YOUR CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT. THESE ITEMS ARE NOT AN EXHAUSTIVE LIST.

General

- An Encroachment Permit must be obtained from the Engineering Department prior to submittal of construction documents for building permit. The limitations of this encroachment include;
 - a. **Doors shall not open into the right of way;**
 - b. **A minimum clear distance of twenty-four (24) feet is required between the sidewalk level and any overhead structure; removable or collapsible appurtenances may be as low as fourteen (14) feet in height, but must be easily removed or hinged to allow for easy access to all parts of the right of way;**
 - c. A maximum horizontal projection of eight (8) feet is permitted for any upper level balconies or decorative architectural features of the building
 - d. **These conditions apply only to the architectural portions of the project. Any other use of the right of way for display of sales items, shall maintain an eight (8) foot linear pedestrian zone, requiring a separate review/approval process;**
 - e. **The contractor must contact blue stake prior to doing any excavation. There are electrical conduits directly behind the curb that need to be avoided. Hand digging should be required for the proposed trees located in the right of way;** and
 - f. Any other requirements described by the encroachment permit or the building code.
- 1. Your drawings must be submitted to the Development Services Building Safety Division for building permit by **June 26, 2008** or Development Plan approval will expire.
- Verify all comments by the Public Works Department, Development Services Department, and Fire Department given on the Preliminary Site Plan Reviews dated **April 18, 2007** and **June 22, 2007**. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Department will be reviewed by planning staff to ensure consistency with this Design Review approval prior to issuance of building permits.
- Under an agreement between the City of Tempe and the State of Arizona, Water Conservation Reports are required for landscape and domestic water use for this project. Have the landscape architect and the mechanical engineer prepare reports and submit them with the construction drawings during the building plan check process. Report example is contained in Office Procedure Directive # 59, available from Building Safety (480-350-8341). Contact Pete Smith of Water Resources (480-350-2668) if there are any questions regarding the purpose or content of the water conservation reports.
- The project site does not have an Archaeologically Sensitive designation. However, State and federal laws apply to the discovery of features or artifacts during site excavation (typically, the discovery of human or associated funerary remains). Where such a discovery is made, contact the Arizona State Historical Museum (520-621-6302) for removal and repatriation of the items. Contact the Tempe Historic Preservation Officer (Joe Nucci 480-350-8870) if questions regarding the process described in this condition.
- **Address to be assigned by Engineering, suites to be assigned by Development Services.**
- Design building entrance(s) to maximize visual surveillance of vicinity. Limit height of walls or landscape materials, and design columns or corners to discourage to opportunity for ambush opportunity.

Distances of 20'-0" or greater, between a pedestrian path of travel and any hidden area allow for increased reaction time and safety.

- Follow the design guidelines listed under appendix A of the Zoning and Development Code. In particular, reference the CPTED principal listed under A-II Building Design Guidelines (C) as it relates to the location of pedestrian environments and places of concealment.
- Specific requirements of the **Zoning and Development Code** are not listed as a condition of approval, but will apply to any application. To avoid unnecessary review time, and reduce the potential for multiple plan check submittals, it is necessary that the applicant be familiar with the Zoning and Development Code (ZDC), which can be accessed through www.tempe.gov/zoning, or purchased at Development Services.
- Standard Details:
 - **Driveway shall be per Tempe standard Detail T-320 (30-ft minimum 40 ft maximum) per Section 5-612M.**
 - Tempe Standard "T" details may be accessed through www.tempe.gov/engineering or purchased from the Engineering Division, Public Works Department.
 - Tempe Standard "DS" details for refuse enclosures may be accessed through www.tempe.gov/tdsi/bsafety or may be obtained at Development Services.

Site Plan

- **Provide four (4) foot minimum exclusive sewer easement on the east property line; no buildings, walls or trees may be planted OR Relocate public sewer to avoid conflict with new construction and retain access to line. Coordinate with Public Works and Water Utilities Department on solution.**
 - Provide 8'-0" wide clear public sidewalk along arterial roadways, or as required by Traffic Engineering Design Criteria and Standard Details. **Public sidewalks within the Transportation Overlay District shall have a minimum width of eight feet (8 ft) unobstructed by light poles, parking meters, street furniture, plant materials, fences, fire hydrants, or other obstructions.**
 - Incorporate brick sidewalks for all off-site pedestrian paving. Follow City of Tempe Public Works Department Detail T-353, when designing all sidewalk areas in the Right-of-Way. Alternative paver materials may be considered subject to review, and approval, by the Engineering and Planning Departments. Any alternative patterns should be used in small amounts to create accent areas at entrances, or to demarcate architectural features of the building. Do not propose a wholesale change of material. These materials shall be compatible with the Americans with Disabilities Act, ADA, and the Building Code.
2. Verify height of equipment and mounting base to ensure that wall/parapet height is adequate to fully screen the equipment. Locate electrical service entrance sections inside the service yard or inside building.
 3. **Security gates shall be constructed of steel vertical picket, steel mesh, steel panel or similar construction, with ability to see through.** Review gate hardware with Building Safety and Fire staff and design gate to resolve lock and emergency ingress/egress features that may be required.
 4. Provide upgraded paving at driveway apron consisting of unit paving. Extend unit paving in the driveway from the back of the accessible public sidewalk bypass to 20'-0" on site and from curb to curb at the drive edges.
- Place exterior, freestanding reduced pressure and double check backflow assemblies in pre-

manufactured, pre-finished, lockable cages (one assembly per cage). If backflow prevention or similar device is for a 3" or greater water line, delete cage and provide a masonry or concrete screen wall following the requirements of Standard Detail T-214.

5. Utility equipment boxes for this development shall be finished in a neutral color (subject to utility provider approval) that compliments the coloring of the buildings.
6. Parking spaces:
 - **This site shall continue participation within the Downtown In Lieu Parking Program, subject to review and parking maintenance by DTC.**
 - **This site is required to provide 19 parking spaces per previous variance (reducing parking from 57 to 19). Provide a minimum of ten 10 full size on-site parking spaces, the additional nine (9) spaces are provided within the In Lieu Parking Program. Compact parking spaces do not meet parking space requirements.**
 - **No restaurant uses may be added to this site without further review of parking requirements.**
 - **Conflicts with electrical service room door and parking space must be resolved prior to issuance of building permits.**
 - Verify conformance of accessible vehicle parking to the Americans with Disabilities Act of 1990 (42 U.S.C.A. §12101 ET SEQ.) and the Code of Federal Regulations Implementing the Act (28 C.F.R., Part 36, Appendix A, Sections 4.1 and 4.6). Refer to Standard Detail T-360 for parking layout and accessible parking signs.
 - At parking areas, provide demarcated accessible aisle for disabled parking.
 - Distribute bike parking areas nearest to main entrance. **Bicycle parking may be located in City right of way, and may be added on to existing provided public racks.** Provide parking loop/rack per standard detail T-578. Provide 2'-0" by 6'-0" individual bicycle parking spaces. One loop may be used to separate two bike parking spaces. Provide clearance between bike spaces and adjacent walkway to allow bike maneuvering in and out of space without interfering with pedestrians, landscape materials or vehicles nearby.
- **Roof drains and the underground storm water retention may not connect to public storm drain.**
- **The drywell must be accessible for monitoring, service and maintenance.**
- **Onsite fire suppression system connection to be isolatable from supporting Fire Hydrants. Cut-in valves required.**
- **New on-site fire hydrant required.**
- **Provide complete landscape plan (including roof top plantings) and irrigation and drainage plan for staff review.**
- The site is within an Alternative Retention Criteria Area. **Must provide 2-year on site storm water retention.** Verify specific design considerations with the Engineering Department.
- Undergrounding of overhead utilities. Underground utilities requirement excludes high-voltage transmission line unless project inserts a structure under the transmission line. Coordinate site layout with Utility provider(s) to provide adequate access easement(s).
- Clearly indicate property lines, the dimensional relation of the buildings to the property lines and the separation of the buildings from each other.
- Verify location of any easements, or property restrictions, to ensure no conflict exists with the site layout or foundation design.

- Refuse: Coordinate refuse collection with Ron Lopinski 480-350-8132
- Driveways:
 - Construct driveways in public right of way in conformance with Standard Detail T-320. Alternatively, the installation of driveways with return type curbs as indicated, similar to Standard Detail T-319, requires permission of Public Works/Traffic (Shelly Seyler 480-350-8219)
 - Correctly indicate clear vision triangles at driveway on the site and landscape plans. Identify speed limits for adjacent streets at the site frontages. Begin sight triangle in driveways at point 15'-0" in back of face of curb. Consult "Corner Sight Distance" leaflet, available from Development Services Counter or from John Brusky in Transportation (480-350-8219) if needed. Do not locate site furnishings, screen walls or other visual obstructions over 2'-0" tall (except canopy trees are allowed) within each clear vision triangle.

Floor Plans

- **Third Floor has 84' distance of travel to center of unit, this exceed the 75' common path of travel requirements of 1013.3. Revise floorplan to provide additional ingress/egress or modify location of ingress/egress to provide no greater than 75' of common path of travel from any point of third floor, including exterior spaces.**
- **There may be future problems providing the required separate restroom facilities with the current floor plan. Coordinate plans with Building Safety to resolve restroom issues.**
- **Egress doors along right of way to meet 1008.1.1, 1008.1.2 and 1008.1.4 (typical).**
- **First Floor Plan means of egress does not meet any of the exceptions. Coordinate with building safety to resolve egress issues.**
- **Any future commercial food use will require pretreatment equipment to be installed.**
- **Verify all dimensions on plans, path of travel on second floor does not scale out to 52' 6 1/8". Coordinate with building safety if accurate dimensions do not meet building codes.**

7. Exit Security:

- Provide visual surveillance by means of fire-rated glazing assemblies from office stair towers into adjacent circulation spaces.
- In instances where an elevator or stair exit in the office or garage is within 21'-0" of an alcove, corner or other potential hiding place, position a refracting mirror to allow someone in the exit doorway to observe in the mirror the area around the corner or within the alcove that is adjacent to the doorway.

8. Public Restroom Security:

- Lights in restrooms:
 - 1) Provide 50% night lights
 - 2) Activate by key or remote control mechanism
- Single user restroom door hardware:
 - 3) Provide a key bypass on the exterior side

9. Garage Security:

- Maximize openness at the elevator entrances and stair landings to facilitate visual surveillance from these pedestrian circulation areas to the adjacent parking level.

- A security vision panel shall be provided at service and exit doors (except to rarely accessed equipment

rooms) with a 3" wide high strength plastic or laminated glass window, located between 43" and 66" from the bottom edge of the door.

Building Elevations

- **Interior spaces with bi-fold doors shall not include metal fencing, but shall ensure adequate security for tenants.**
 - **All existing award placards shall remain on the building, unless authorized by Development Services for an alternate location.**
 - **Provide firewall parapets on north and east elevations.**
10. **The building shall provide four-sided architecture, with modifications necessary to comply with building safety code requirements and meet staff approval for all four elevations.**
 11. **No openings are allowed on building walls at property line; provide 2 hour rated walls on north building elevation.**
 12. **Obtain a 30 foot no-build easement from Tempe Mission Palms (property to the east) to retain the proposed glass elevations, prior to issuance of building permits. If the no-build easement is not obtained, the proposed design does not conform to building safety requirements, and a revised elevation that conforms to building codes and four-sided architectural design standards shall be submitted to the Development Review Commission for approval.**
 13. Provide main colors and materials with a light reflectance value of 75 percent or less. Specific colors and materials exhibited on the materials sample board are approved by planning staff. Submit any additions or modifications for review during building plan check process. Planning inspection staff will field verify colors and materials during the construction phase.
 14. Provide secure roof access from the interior of the building. Do not expose roof access to public view.
 15. Conceal roof drainage system within the interior of the building. Minimize visible, external features, such as overflows, and where needed design these to enhance the architecture of the building.
 16. Incorporate lighting, address signs, incidental equipment attachments (alarm klaxons, security cameras, etc.) where exposed into the design of the building elevations so that the architecture is enhanced by these elements.
 17. Locate the electrical service entrance section (S.E.S.) inside the building or inside a secure yard that is concealed from public view.
 18. Exposed conduit, piping, etc. is not allowed unless a creative conduit surface design that compliments the architecture is reviewed and approved by the Development Review Commission.
- Measure height of buildings from top of curb along front of property (as defined by Zoning and Development Code).
 - Avoid upper/lower divided glazing panels in exterior windows at grade level, particularly where lower (reachable) glass panes of a divided pane glass curtain-wall system can be reached and broken for unauthorized entry. Do not propose landscaping or screen walls that conceal area around lower windows. If this mullion pattern is desired for aesthetic concerns, laminated glazing may be considered at these

locations.

Lighting

- Illuminate building entrances and underside of open stair landings from dusk to dawn to assist with visual surveillance at these locations.
19. Provide a dedicated light source for proposed ATM location.
- All new and existing lighting shall conform to the requirements of the Zoning and Development Code, Part 4, Chapter 9, Lighting. Remove any non-compliant lighting.
 - Follow the guidelines listed under appendix E “Photometric Plan” of the Zoning and Development Code.

Landscape

20. **Proposed tree grates located east of building shall provide a minimum four (4) feet wide accessible sidewalk from opening of the grate.**
21. **All new trees shall be a minimum twenty-four (24) inch box size.**
- **Research City as-builts and public utility plans to make sure that the proposed trees are not in conflict; Blue Stake prior to excavation and hand-digging required for tree pits.**
22. Irrigation notes:
- a. Enclose backflow prevention device in a lockable, pre-manufactured cage.
 - b. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use of schedule 40 PVC mainline and class 315 PVC ½” feeder line is acceptable. Class 200 PVC feeder line may be used for sizes greater than ½” (if any). Provide details of water distribution system.
 - c. Locate valve controller in a vandal resistant housing.
 - d. Hardwire power source to controller (a receptacle connection is not allowed).
 - e. Controller valve wire conduit may be exposed if the controller remains in the mechanical yard.
 - f. Provide temporary irrigation to existing landscape (on site or in these frontages) for period of time that irrigation system is out of repair. Design irrigation so (existing plants on site or in frontages) is irrigated as part of the reconfigured system at the conclusion of this construction.
23. Include requirement in site landscape work to de-compact soil in planting areas on site and in public right of way and remove construction debris from planting areas prior to landscape installation.
24. Provide pre-emergence weed control application and do not underlay rock or decomposed granite application with plastic.
- Indicate the location of all exterior light fixtures on the site, landscape (and photometric) plans. Avoid conflicts with lights in order to maintain illumination levels for exterior lighting.

Signage

- Provide address sign(s) on the building elevation facing the street to which the property is identified.
 - a. Conform to the following for building address signs:
 - 1) Provide street number only, not the street name
 - 2) Compose of 12” high, individual mount, metal reverse pan channel characters.
 - 3) Self-illuminated or dedicated light source.

- 4) Coordinate address signs with trees, vines, or other landscaping, to avoid any potential visual obstruction.
 - 5) Adjust locations on building so sign is unobstructed by trees, vines, etc.
 - 6) Do not affix number or letter to elevation that might be mistaken for the address.
 - b. Utility meters shall utilize a minimum 1" number height in accordance with the applicable electrical code and utility company standards.
- Obtain sign permit for any identification signs as well as for internally (halo) illuminated address signs. Directional signs (if proposed) may not require a sign permit, depending on size. Directional signs are subject to review by planning staff during plan check process. Separate Development Plan Review process may be required if signs do not conform to ZDC Part 4 Chapter 9 (Signs).

HISTORY & FACTS:

Fall 1973	Fire destroyed four buildings on four separate lots on the northeast corner of Mill Avenue and 5 th Street. The buildings had three retail uses and an APS office.
Fall 1976	City of Tempe agreed to purchase the four lots of 25' x 125' each, to provide one marketable site.
January 1, 1977	City of Tempe offered the new site (100' x 125': .28 acres) for sale, along with a three block area west of Mill Avenue between 1 st and 3 rd Streets. The offering period was 6 months.
July-August 1977	City Council reviewed seven offers on the site, including site plans, building design and proposed uses.
November 17, 1977	City Council adopted Ordinance No. 830, which awarded the site to Five-M Associates for development.
February 15, 1978	Design Review Board approved the sign package, site, and landscaping, building for 5 th & Mill located at 425 South Mill Avenue, in the CCD, Central Commercial District.
February 22, 1978	Board of Adjustment approved the request for the following, by Five-M Associates located at 425 South Mill Avenue: <ul style="list-style-type: none"> 1. Use Permit for Commercial/Retail use; 2. Variance to reduce the required frontyard setback from 10' to 1'; 3. Variance to reduce the required street side yard setback from 10' 0; 4. Variance to reduce the required parking from 38 to 19 spaces; 5. Variance to reduce the size of three spaces from 9'x20' to 7.5'x15'; 6. Variance to reduce the length of a parking stall from 20' to 18'; 7. Variance to all off-street parking located within the required street side yard setback; 8. Variance to reduce the amount of landscape from 10% to 6%; 9. Variance to reduce the landscape strip between the street property line and the parking from 10' to 0; 10. Variance to reduce the width of a two-way drive from 18' to 12' (alley access); 11. Variance to permit the building to project in the 33' corner lot triangular area; 12. Variance to reduce the required fee from \$300.00 to \$75.00
June 28, 1978	Board of Adjustment approved the request by Five-M Associates at 425 South Mill Avenue, in the CCD, Central Commercial District upholding the Zoning Administrator's decision that Kitchie's is a restaurant, approved a use permit for an ice cream shop,

and approved a variance to reduce the required parking from 52 to 19 spaces.

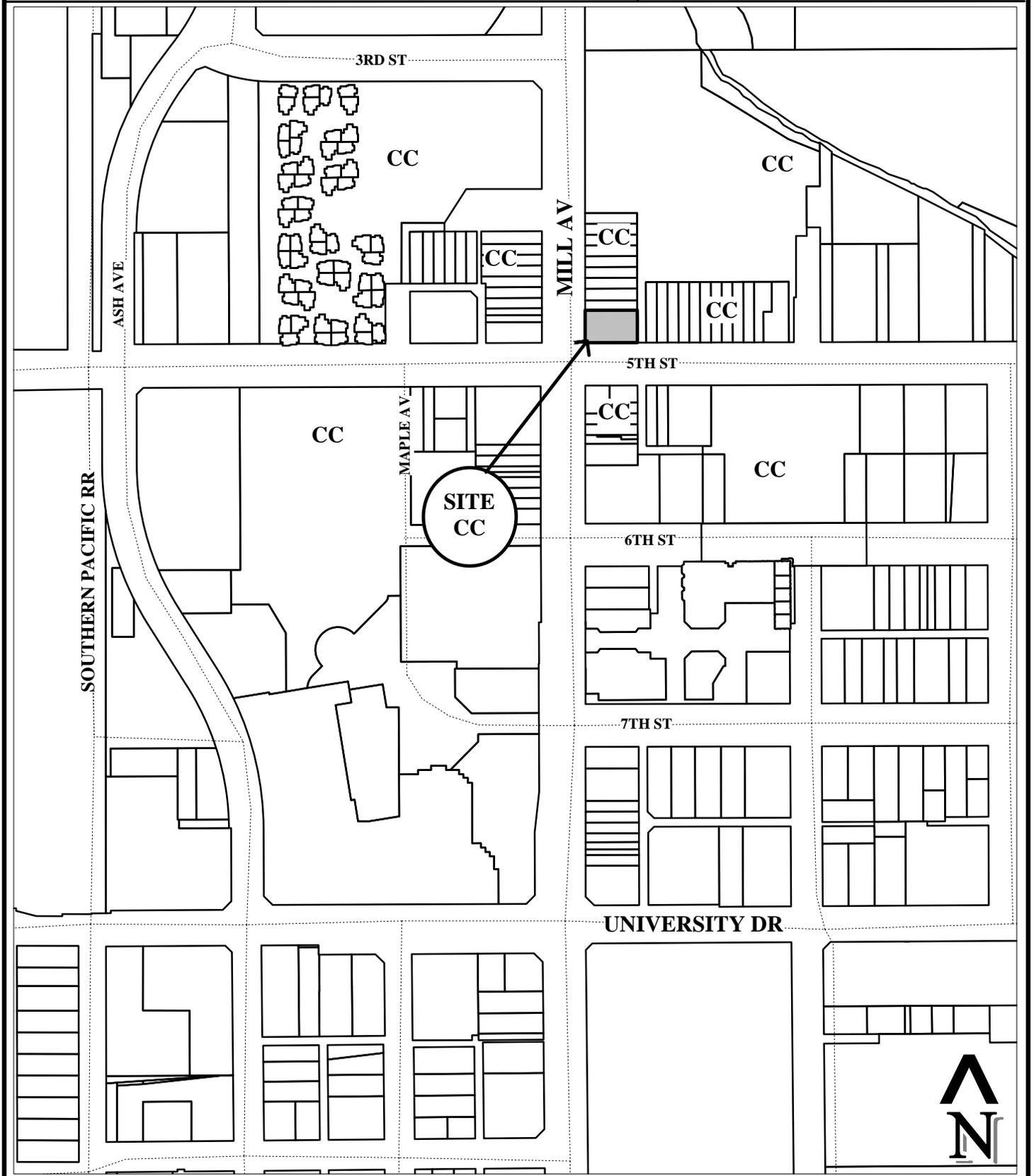
- October 25, 1978 Board of Adjustment approved the request by Five-M Associates at 425 South Mill Avenue, in the CCD, Central Commercial District for a use permit for a restaurant and a variance to reduce the required off-street parking spaces from 57 to 19.
- December 21, 1978 Certificate of Occupancy received for the Five-M Building.
- June 10, 2003 Building Permit issued for demolition of interior walls. (Permit Expired)
- February 6, 2007 Request for a 2,451 s.f. of building addition totaling 10,197 s.f. in building area submitted and withdrawn a month later.
- February 26, 2007 Building Permit issued for interior demolition of building.

ZONING AND DEVELOPMENT CODE REFERENCE:

Section 6-306, Development Plan Review

5TH & MILL BLDG

PL070001



Location Map

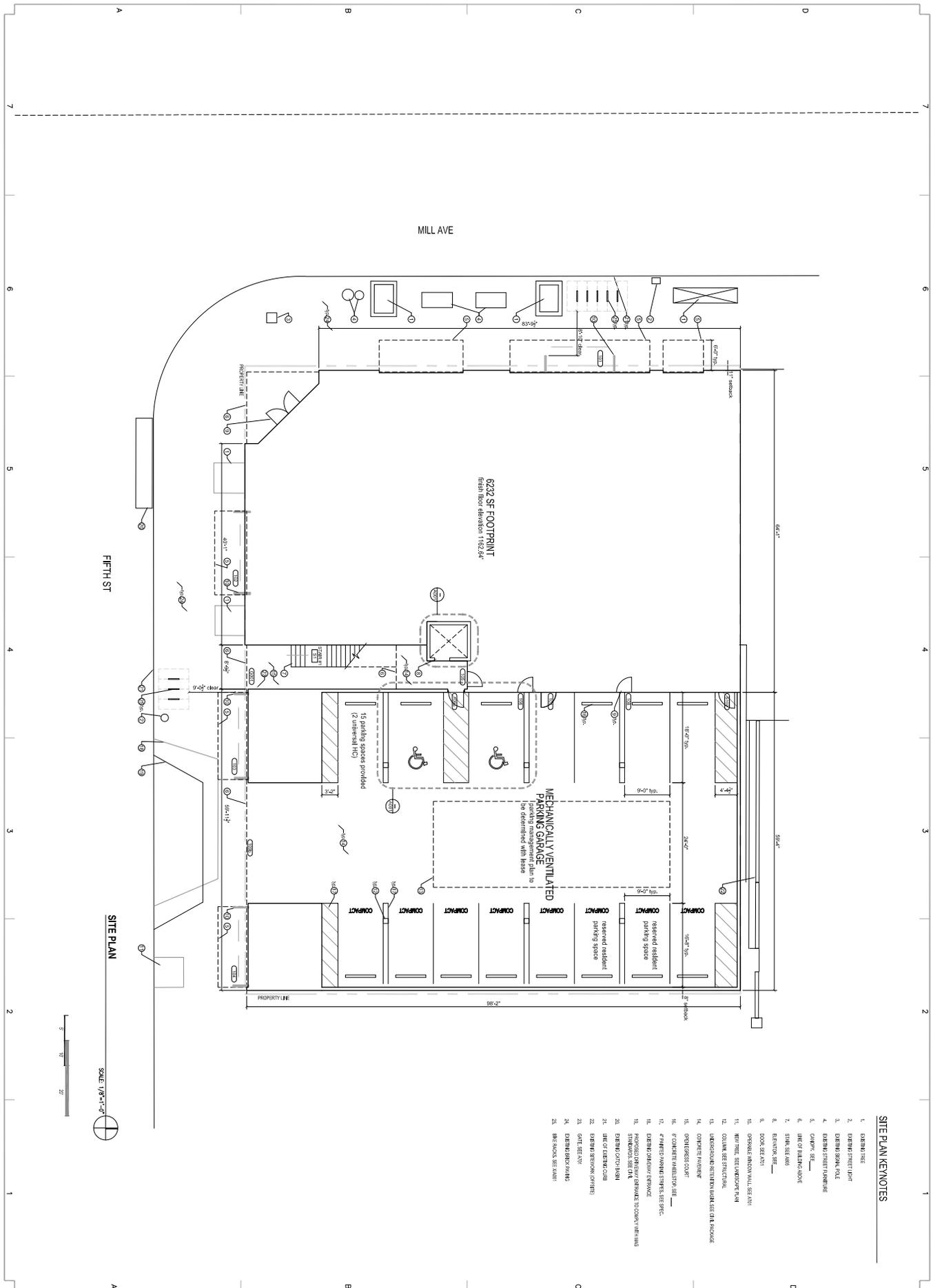


5TH & MILL BUILDING (PL070001)

Letter of explanation:

The proposed Fifth and Mill building will locate a bank inside the existing brick structure, with smaller retail programs opening onto the street through a glazed infill elevation. The existing shade trees will be left in place both on Mill and Fifth, with an additional tree to be planted further east along Fifth, near the entrance to an at-grade parking area, also with retail functions along the street. The parking will occur where a parking lot currently exists, so there will be no adverse impact on traffic turning into and out of the structure. Canopies will overhang the sidewalk, shading the building entrances and will be illuminated at night to enliven the street. The primary entrance to the second and third levels will be off of Fifth Street through an open three story court (which can be closed off at night for security) with a roof overhang above to protect from both rain and sun. The office which occupies the second level will be identified by a green glazed curtain wall which wraps the west, south, and onto the east side of the building. This element picks up on the trees along Mill Ave. as a consistent band, and will provide daylighting to the office, while being shaded by the street trees. The third level is a private residence, which steps back from the building edge for privacy, and is characterized by deep overhanging roof planes which shade the glazed elevations. Non-glazed walls are either stucco or rusted steel, which fits in with the natural color palette established throughout. Extensive patio space is provided, giving the residence tangible presence onto both streets. Both the second and third levels are accessed by an elevator inside the court. The location near the Tempe Transportation Center and within downtown will encourage access via light rail, and bike racks will be located on the sidewalk, to facilitate alternative modes of transit, while keeping bikes visible and secure. From above, the central core extends up to provide mechanical screens, and the flat roofs of the residence will have a ballast system, providing a more attractive fifth elevation as other buildings around Tempe continue to grow taller.

Eric Vollmer
Project Manager
Architekton



SITE PLAN NOTES

1. EXISTING TREE
2. EXISTING STREET LIGHT
3. EXISTING SIGNAL POLE
4. EXISTING STREET FLOWMETER
5. CATCHER SET
6. LINE OF BUILDING ABOVE
7. SIGN SET AREA
8. EXISTING SIGN
9. DOOR SET AREA
10. OPERABLE WINDOW WALL SEE FIN
11. NEW TREE SEE LANDSCAPE PLAN
12. COLUMN SEE STRUCTURAL
13. UNDERGROUND STRUCTURE SEE CIVIL WORKSHEET
14. CONCRETE FOUNDATION
15. OVERLAPPED COURSE
16. 6" CONCRETE VENTILATION SLIT
17. 4" FINISHED DRIVING STRIP, SEE SPEC.
18. EXISTING DRIVEWAY ENTRANCE
19. PROPOSED DRIVEWAY ENTRANCE TO COMPLY WITH IAD
20. SIGNAGE SEE P&E
21. EXISTING CONCRETE SIGN
22. LINE OF EXISTING CURB
23. EXISTING SIDEWALK (CONCRETE)
24. GATE SET AREA
25. EXISTING DRIVEWAY SIGNING
26. NEW SIGNAGE SEE P&E

ARCHITECTON

PROJECT TEAM
 ARCHITECT: ARCHITECTON
 PROJECT MANAGER: [Name]
 DESIGNER: [Name]
 CONSULTANT: [Name]

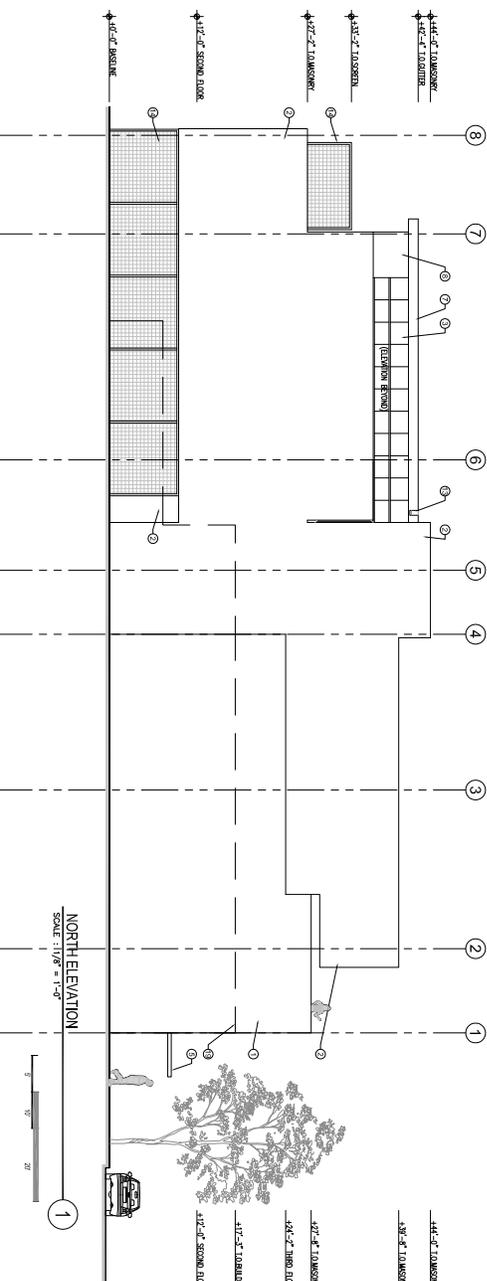
FIFTH AND MILL BUILDING
 425 S MILL AVE. TEMPE, AZ 85281

07114
 A000
 SITE PLAN
 SCALE: 1/8" = 1'-0"
 PLOT DATE: 06.14.07

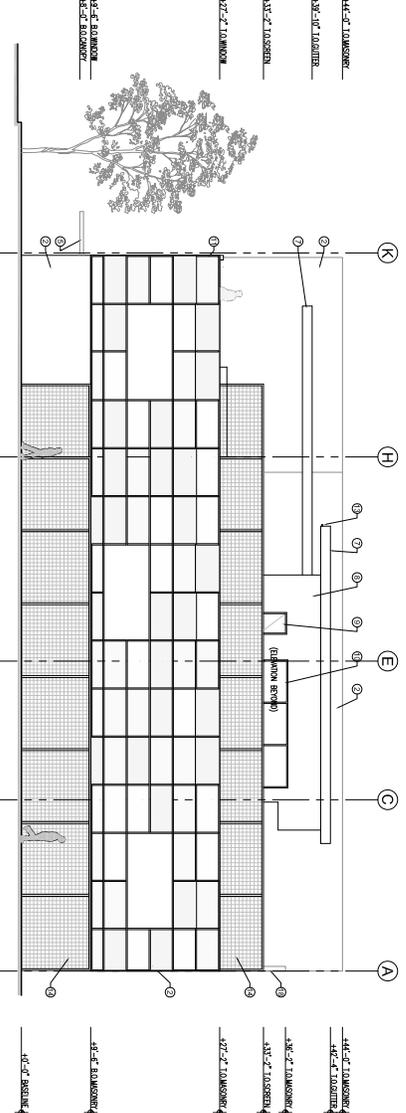
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EXTERIOR ELEVATION KEYNOTES

1. EXISTING BRICK MASONRY
2. 4" CHALK BLOCK, SEE SPEC.
3. OPERABLE GLASS WALL, SEE A-01
4. ALUMINUM STOREFRONT, SEE A-01
5. ALUMINUM CANOPY, SEE _____
6. POTENTIAL SIGNAGE LOCATION, INC.
7. STEEL FASCIA
8. PLASTER FINISH, SEE SPEC.
9. DOORS, SEE A-01
10. WINDOW, SEE A-01
11. ALUMINUM CURTAIN WALL SYSTEM, SEE A-01
12. EXPOSED STEEL BEAM, SEE STRUCTURAL
13. SCUPPER, SEE X-000
14. GREENSCREEN, SEE _____
15. STAIRS
16. OPENING BEYOND
17. MECHANICAL CHUTE, SEE _____
18. WALL BEYOND
19. LINE OF REBROWNING BUILDING
20. LOCATION OF FUTURE A-01, INC.



NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

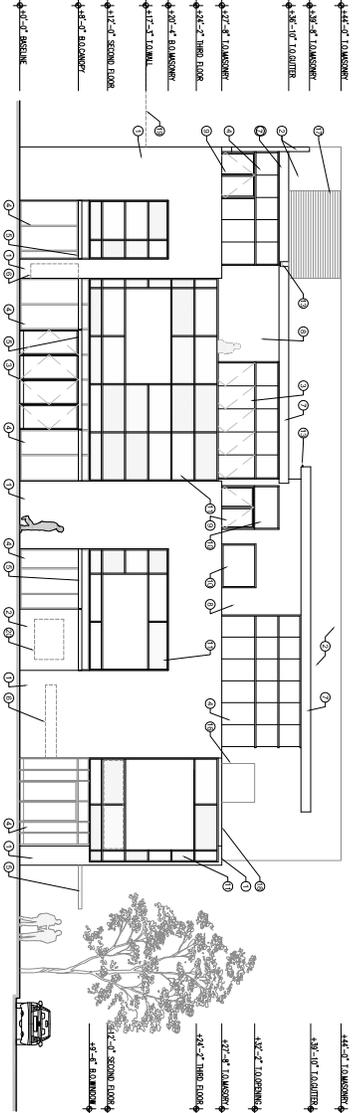


EAST ELEVATION
 SCALE: 1/8" = 1'-0"



EXTERIOR ELEVATION KEYNOTES

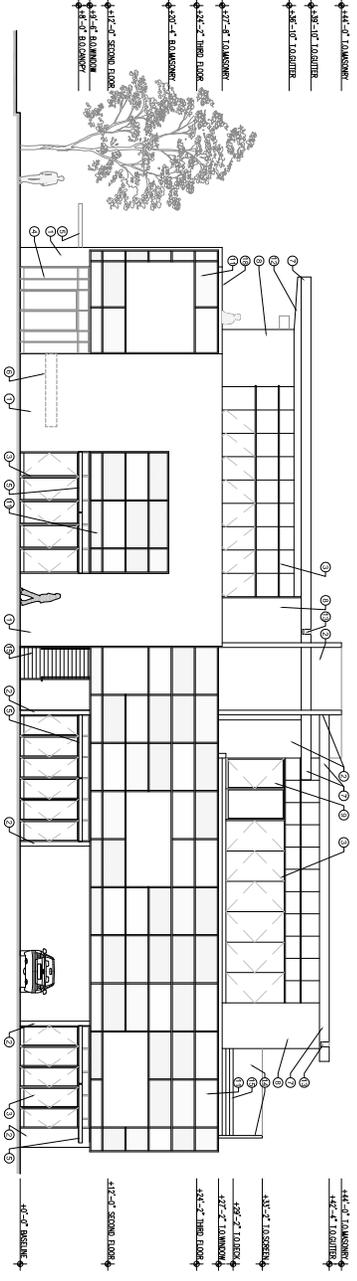
1. CONCRETE/STAINLESS STEEL
2. CONCRETE/STAINLESS STEEL
3. OPERABLE GLASS WALL, SEE A/E
4. ALUMINUM OPERABLE, SEE A/E
5. ALUMINUM CURTAIN, SEE A/E
6. OPERABLE SHINGLED LOUVER, SEE A/E
7. STEEL RAILING
8. 2x4x8 STUDS, SEE SPEC
9. DOOR, SEE A/E
10. WINDOW, SEE A/E
11. ALUMINUM CURTAIN WALL SYSTEM, SEE A/E
12. SPANDREL STEEL BEAM, SEE STRUCTURAL
13. SCISSOR, SEE A/E
14. OPERABLE, SEE A/E
15. SPINE
16. OPERABLE WINDOW
17. MEDICAL, GALL. SEE A/E
18. WALL, SEE A/E
19. JET OF OPERABLE, SEE A/E
20. LOUVER, SEE A/E



WEST ELEVATION

SCALE: 1/8"=1'-0"

2



SOUTH ELEVATION

SCALE: 1/8"=1'-0"

1

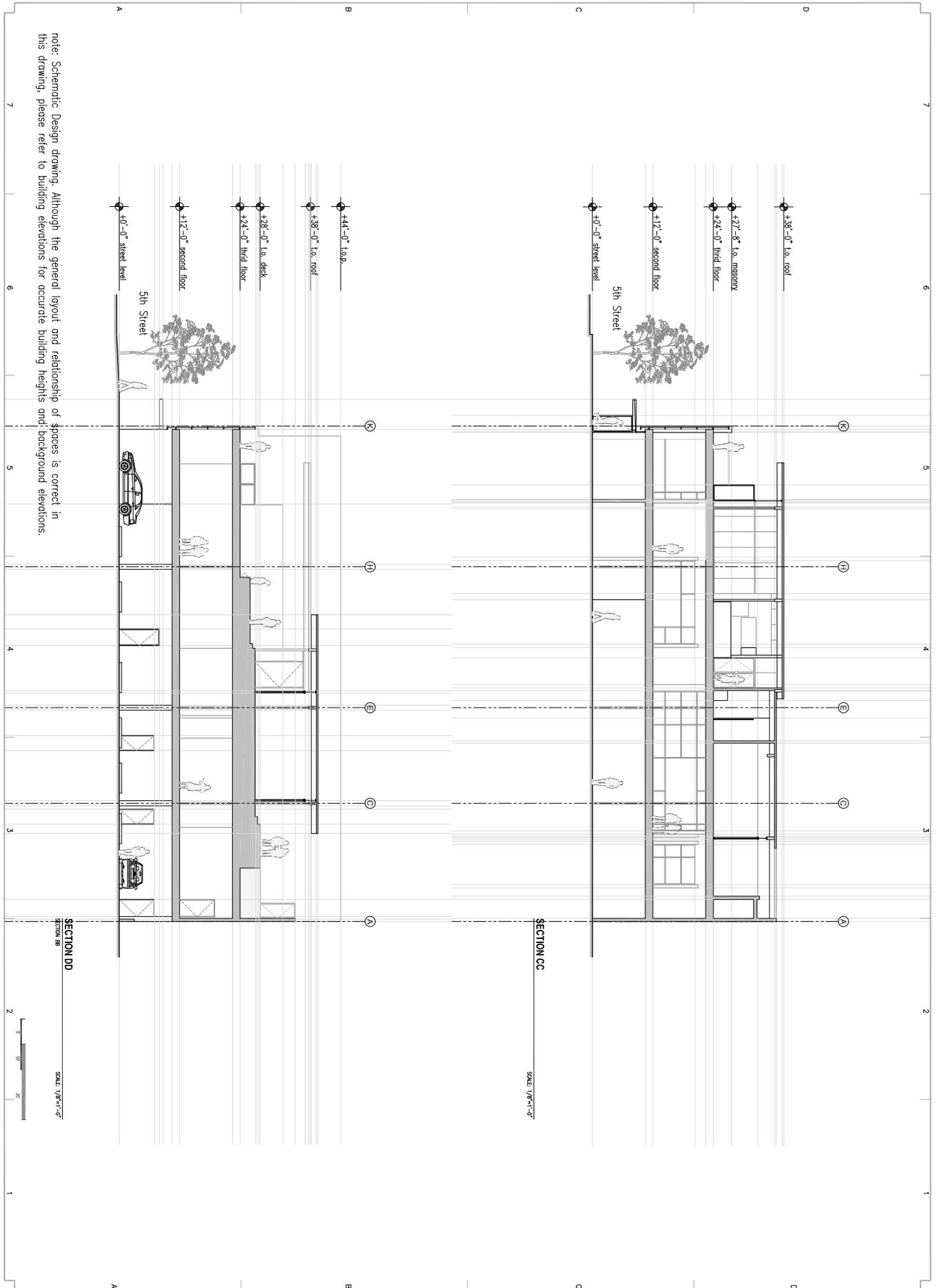


FIFTH AND MILL BUILDING
425 S MILL AVE. TEMPE, AZ 85281

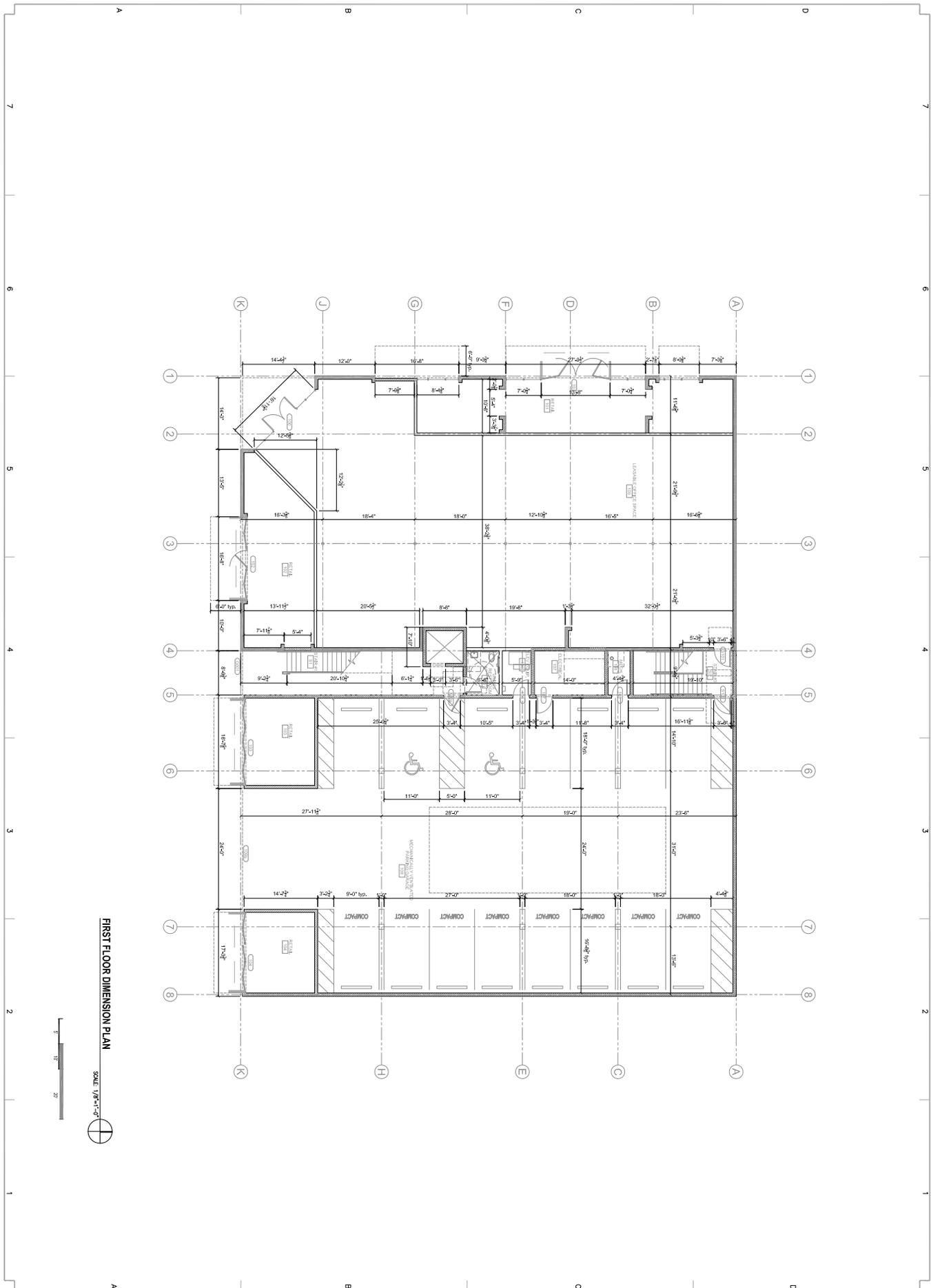


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AA01
EXTERIOR
ELEVATIONS



note: Schematic Design drawing. Although the general layout and relationship of spaces is correct in this drawing, please refer to building elevations for accurate building heights and background elevations.



FIRST FLOOR DIMENSION PLAN
SCALE: 1/8"=1'-0"

A101a
FIRST FLOOR
DIMENSION PLAN



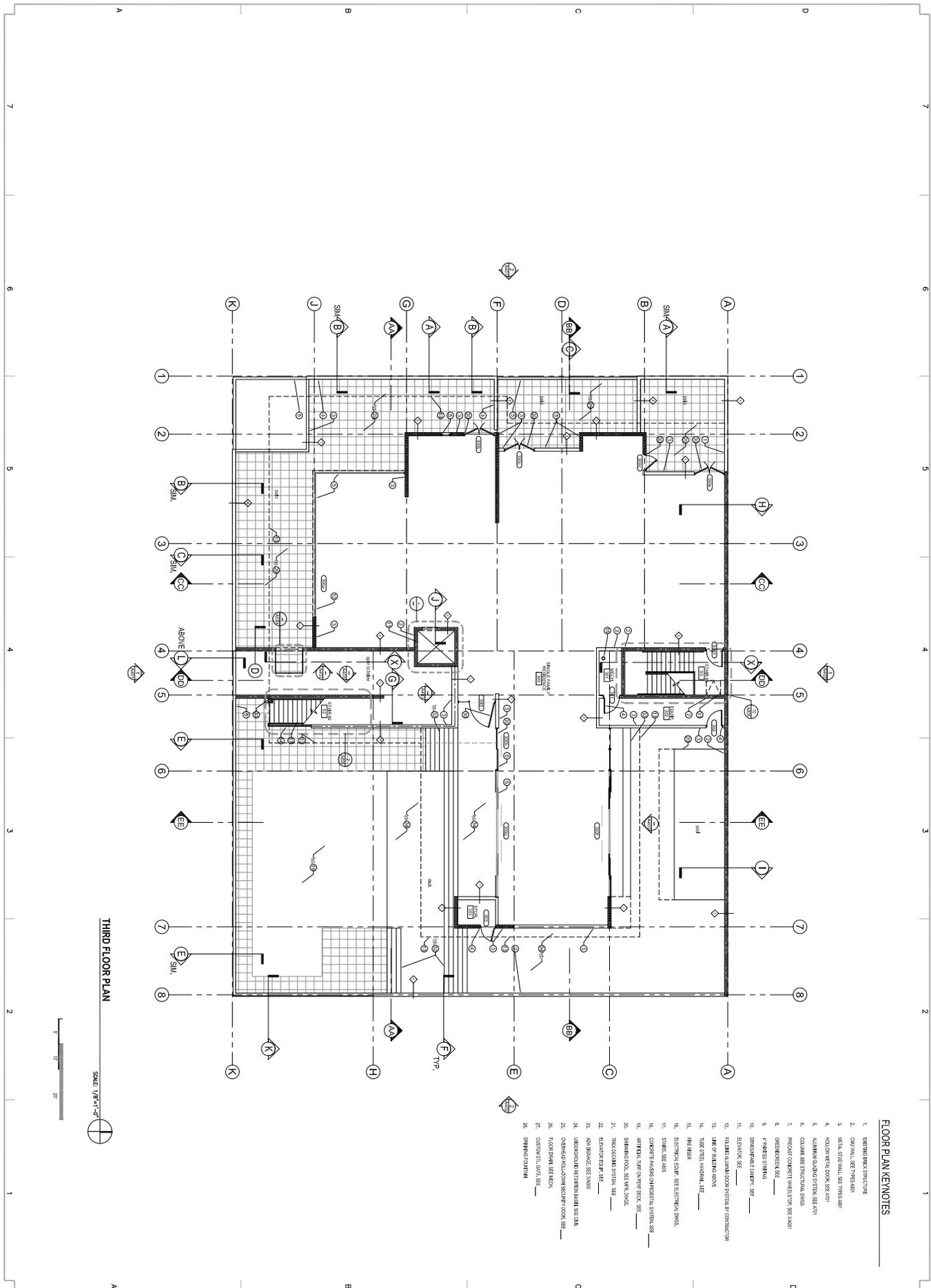
FIFTH AND MILL BUILDING
425 S MILL AVE. TEMPE, AZ 85281

Plot DATE = 06.14.07
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FLOOR PLAN NOTES

1. BRONZE BRACKETS/ROHS
2. CANTILEVER FLOOR
3. METAL STRIP WALL, SEE TYPICAL
4. POLYURETHANE FLOOR, SEE TYPICAL
5. ALUMINUM GLAZING SYSTEM, SEE ANTI
6. COLUMN AND BRACKET, SEE TYPICAL
7. PRECAST CONCRETE WHELPS, SEE ANTI
8. GROUNDWORK, SEE TYPICAL
9. 4" FINISH CONCRETE
10. BRONZE BRACKETS, SEE TYPICAL
11. BRONZE BRACKETS, SEE TYPICAL
12. EXISTING ALUMINUM GLAZING SYSTEM, SEE TYPICAL
13. NEW 4" FINISH CONCRETE
14. NEW STEEL WELPS, SEE TYPICAL
15. BRONZE BRACKETS
16. EXISTING CONCRETE, SEE TYPICAL
17. BRONZE BRACKETS
18. CONCRETE BRACKETS OVER EXISTING SYSTEM, SEE TYPICAL
19. BRONZE BRACKETS
20. BRONZE BRACKETS, SEE TYPICAL
21. BRONZE BRACKETS, SEE TYPICAL
22. BRONZE BRACKETS, SEE TYPICAL
23. BRONZE BRACKETS, SEE TYPICAL
24. BRONZE BRACKETS, SEE TYPICAL
25. BRONZE BRACKETS, SEE TYPICAL
26. BRONZE BRACKETS, SEE TYPICAL
27. BRONZE BRACKETS, SEE TYPICAL
28. BRONZE BRACKETS, SEE TYPICAL

THIRD FLOOR PLAN



SCALE: 1/8"=1'-0"

ARCHITECT

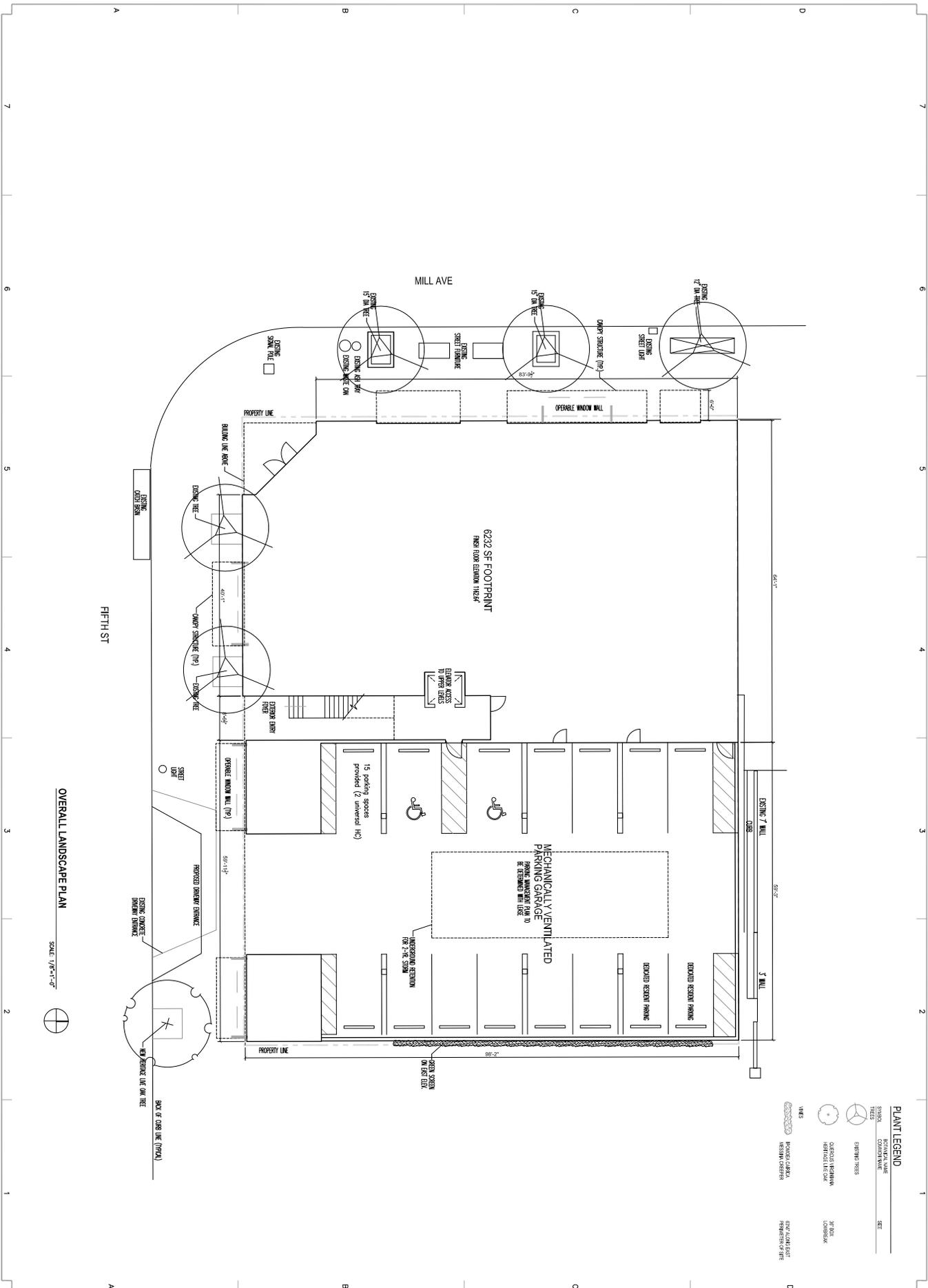
PROJECT TEAM
 PROJECT ARCHITECT: [Name]
 PROJECT ENGINEER: [Name]
 PROJECT MANAGER: [Name]
 PROJECT COORDINATOR: [Name]
 PROJECT ASSISTANT: [Name]

FIFTH AND MILL BUILDING
 425 S MILL AVE. TEMPE, AZ 85281

A103
THIRD FLOOR PLAN



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OVERALL LANDSCAPE PLAN
SCALE 1/8"=1'-0"

PLANT LEGEND

SYMBOL	SPERMATOPHYTES	SEEDS
(Symbol)	SPERMATOPHYTES	SEEDS
(Symbol)	QUERCUS BRANIFFIANA	30" DOGWOOD
(Symbol)	HYDRANGEA LANCEOLATA	COMBRIDIA
(Symbol)	ROSEMARY	PERENNIALS
(Symbol)	ROSEMARY	PERENNIALS

ARCHITECTON

PROJECT TEAM
 ARCHITECT: ARCHITECTON
 PROJECT MANAGER: [Name]
 LANDSCAPE ARCHITECT: [Name]
 DATE: [Date]

FIFTH AND MILL BUILDING
 425 S MILL AVE. TEMPE, AZ 85281



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07114
L000
 LANDSCAPE PLAN

PROJECT TEAM
 ARCHITKTON
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 Minneapolis, MN 55412
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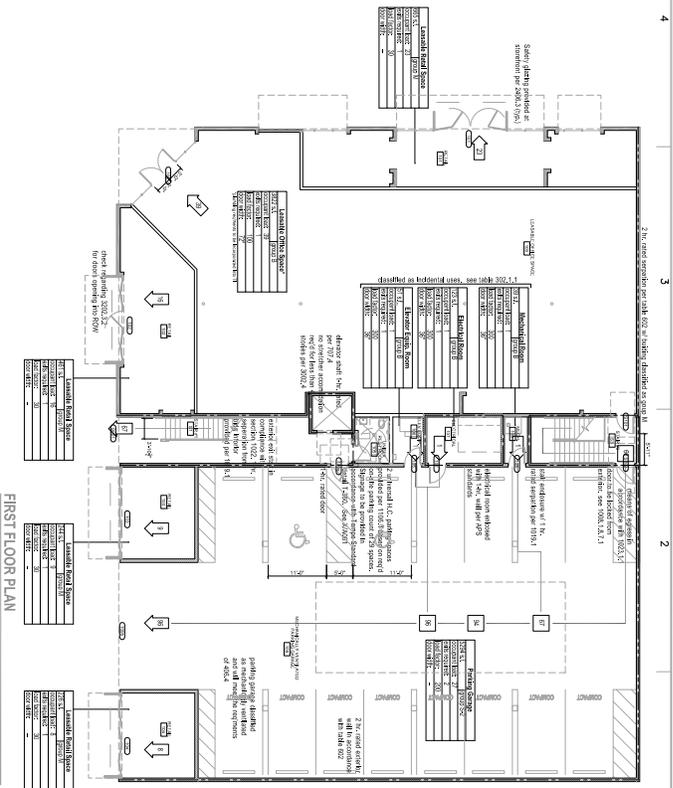
APPLICABLE CODES:
 2007 IBC International Building Code
 2007 IRC International Residential Code
 2007 ASHRAE 90.1 Energy Efficient Building Design Standard
 2007 ASHRAE 62.1 Ventilation for Thermal and Acoustic Environmental Quality
 2007 ASHRAE 55 Thermal Environmental Conditions for Human Occupancy
 2007 ASHRAE 189.2 Green Building Certification Standard
 2007 ASHRAE 155 Performance-Based Design Handbook
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 2007 ASHRAE 1 Performance-Based Design Handbook

Construction Type:

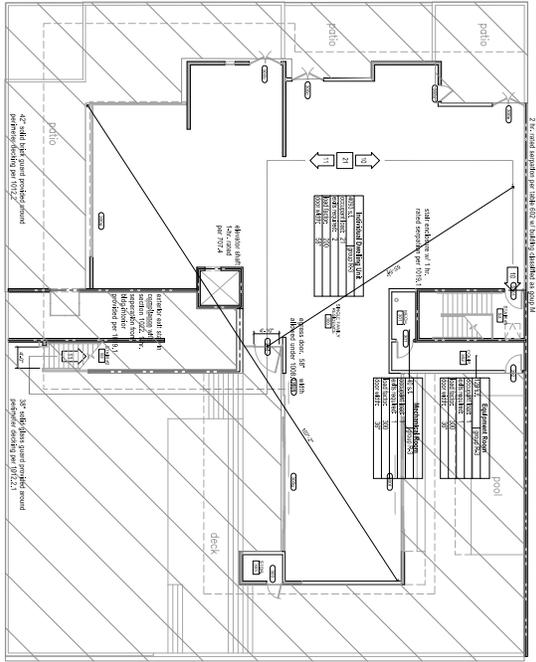
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Exterior Walls	Type I
Roof	Type I
Floor Slabs	Type I
Interior Walls	Type I
Partitions	Type I
Stairways	Type I
Elevators	Type I
Escalators	Type I
Structural Steel	Type I
Structural Concrete	Type I
Structural Masonry	Type I
Structural Timber	Type I
Structural Glass	Type I
Structural Aluminum	Type I
Structural Steel Decking	Type I
Structural Concrete Decking	Type I
Structural Masonry Decking	Type I
Structural Timber Decking	Type I
Structural Glass Decking	Type I
Structural Aluminum Decking	Type I

Report Area Summary Table:

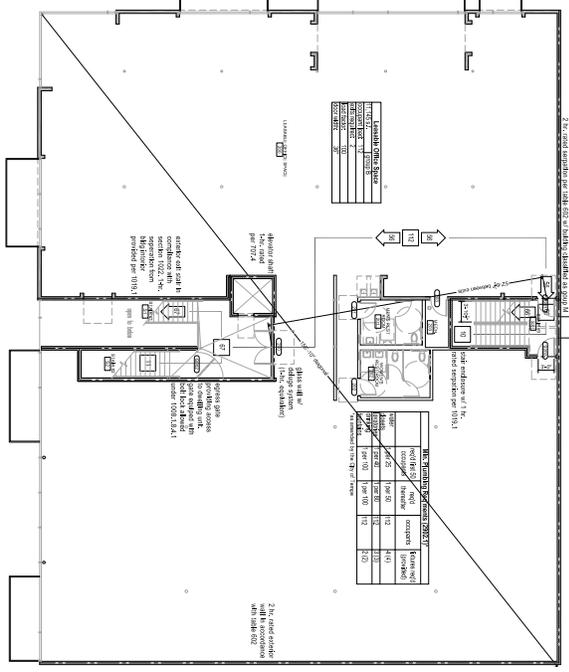
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Exterior Walls	10,000	929
Roof	10,000	929
Floor Slabs	10,000	929
Interior Walls	10,000	929
Partitions	10,000	929
Stairways	10,000	929
Elevators	10,000	929
Escalators	10,000	929
Structural Steel	10,000	929
Structural Concrete	10,000	929
Structural Masonry	10,000	929
Structural Timber	10,000	929
Structural Glass	10,000	929
Structural Aluminum	10,000	929
Structural Steel Decking	10,000	929
Structural Concrete Decking	10,000	929
Structural Masonry Decking	10,000	929
Structural Timber Decking	10,000	929
Structural Glass Decking	10,000	929
Structural Aluminum Decking	10,000	929



SCALE 3/8"=1'-0"



SCALE 3/8"=1'-0"



SCALE 3/8"=1'-0"



FIFTH AND MILL BUILDING
 425 S MILL AVE. TEMPE, AZ 85281

G001
 BLDG. SAFETY

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