

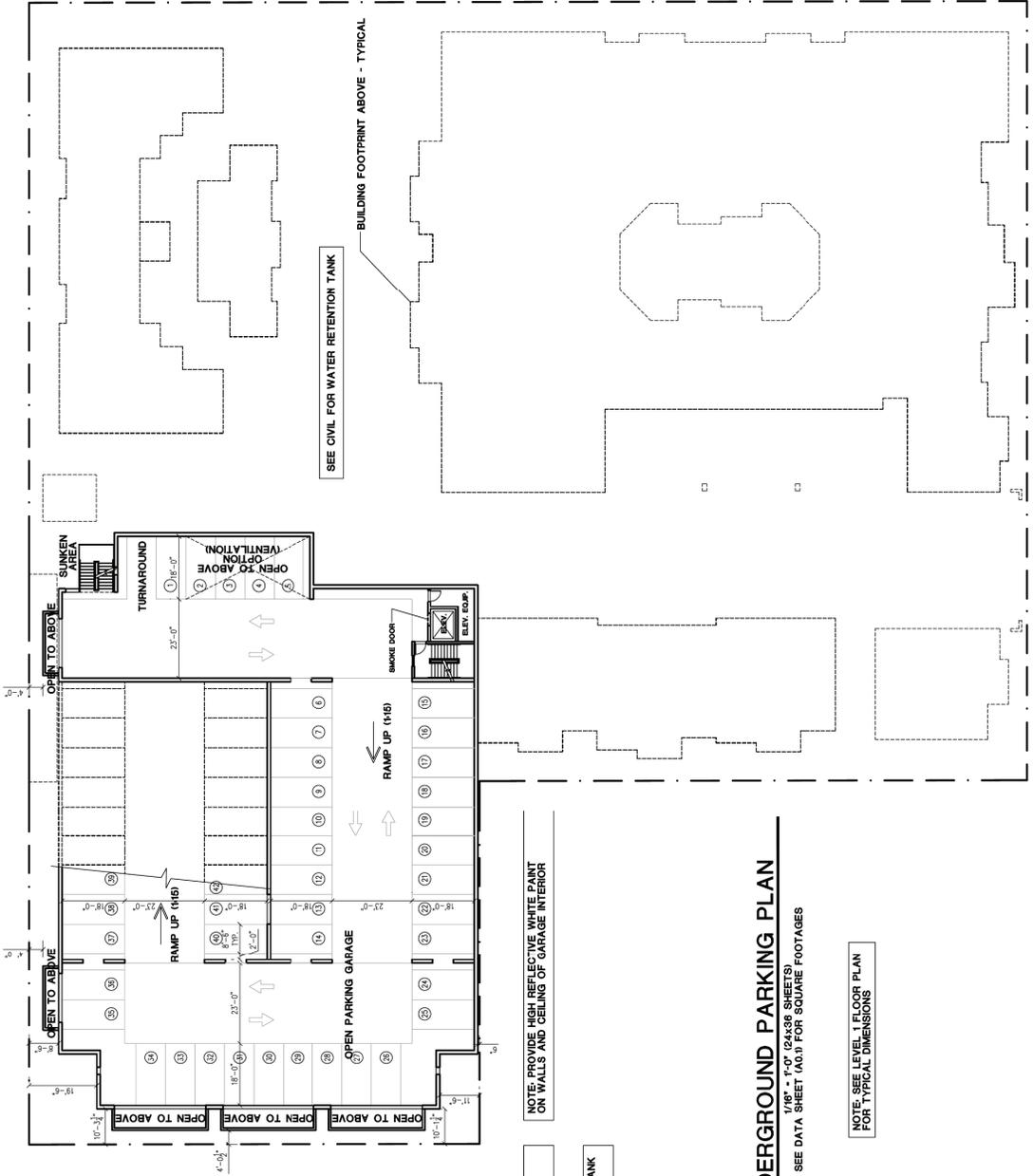
THE RETREAT @ 1 000 APACHE ARIZONA TEMPER UNDERGROUND PARKING PLAN

DESIGNED BY
KSHH
CHECKED BY
KSHH
DATE
06/27/2008
SCALE
JOB NO.



A1.0

APPLICANT:
Glenside International Properties, Inc.
1425 North University Avenue
Phoenix, AZ 85004
CONTACT:
David R. Freeman - (801) 342-8800
PROJECT ADDRESS:
1000 East Apache Boulevard, Tempe, AZ



NOTE: PROVIDE HIGH REFLECTIVE WHITE PAINT ON WALLS AND CEILING OF GARAGE INTERIOR

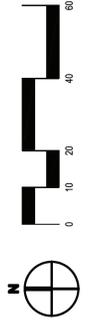
NOTE: PROVIDE VISION PANELS AT VERTICAL CIRCULATION CORES

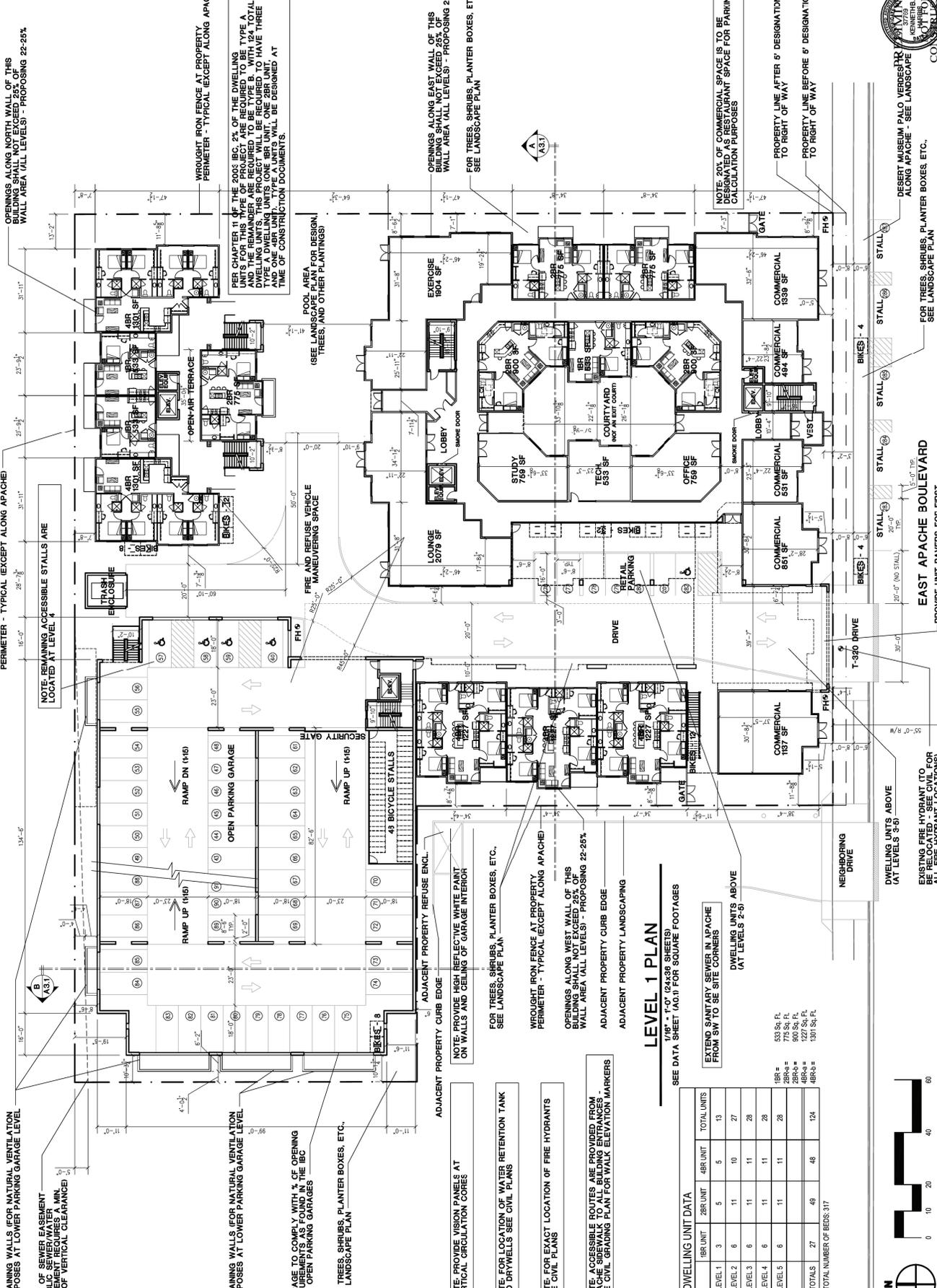
NOTE: FOR LOCATION OF WATER RETENTION TANK AND DRYWELLS SEE CIVIL PLANS

UNDERGROUND PARKING PLAN

1/8" = 1'-0" (24x36 SHEETS)
SEE DATA SHEET (A0.1) FOR SQUARE FOOTAGES

NOTE: SEE LEVEL 1 FLOOR PLAN FOR TYPICAL DIMENSIONS





OPENINGS ALONG NORTH WALL OF THIS BUILDING SHALL NOT EXCEED 25% OF WALL AREA (ALL LEVELS) - PROPOSING 22-25%

WROUGHT IRON FENCE AT PROPERTY PERIMETER - TYPICAL EXCEPT ALONG APACHE

RETAINING WALLS FOR NATURAL VENTILATION PURPOSES AT LOWER PARKING GARAGE LEVEL

PER CHAPTER 11 OF THE 2003 IBC, 2% OF THE DWELLING UNITS FOR THIS TYPE OF PROJECT ARE REQUIRED TO BE TYPE A DWELLING UNITS. THIS PROJECT WILL BE REQUIRED TO HAVE THREE TYPE A DWELLING UNITS (ONE BR UNIT, ONE 2BR UNIT, ONE 3BR UNIT) WILL BE DESIGNATED AT TIME OF CONSTRUCTION DOCUMENTS.

NOTE: REMAINING ACCESSIBLE STALLS ARE LOCATED AT LEVEL 4

LINE OF SEWER EASEMENT FOR PUBLIC SEWER/WATER MAIN SHALL BE MAINTAINED 50' OF VERTICAL CLEARANCE

WROUGHT IRON FENCE AT PROPERTY PERIMETER - TYPICAL EXCEPT ALONG APACHE

NOTE: PROVIDE VISION PANELS AT VERTICAL CIRCULATION CORES

RETAINING WALLS FOR NATURAL VENTILATION PURPOSES AT LOWER PARKING GARAGE LEVEL

OPENINGS ALONG EAST WALL OF THIS BUILDING SHALL NOT EXCEED 25% OF WALL AREA (ALL LEVELS) - PROPOSING 22-25% FOR TREES, SHRUBS, PLANTER BOXES, ETC. SEE LANDSCAPE PLAN

ADJACENT PROPERTY REFUSE ENCL. CURB EDGE

GARAGE TO COMPLY WITH 3% OF OPENING REQUIREMENTS AS FOUND IN THE IBC FOR OPEN PARKING GARAGES

WROUGHT IRON FENCE AT PROPERTY PERIMETER - TYPICAL EXCEPT ALONG APACHE

NOTE: PROVIDE HIGH REFLECTIVE WHITE PAINT ON WALLS AND CEILING OF GARAGE INTERIOR

FOR TREES, SHRUBS, PLANTER BOXES, ETC. SEE LANDSCAPE PLAN

OPENINGS ALONG WEST WALL OF THIS BUILDING SHALL NOT EXCEED 25% OF WALL AREA (ALL LEVELS) - PROPOSING 22-25% ADJACENT PROPERTY CURB EDGE

ADJACENT PROPERTY LANDSCAPING

FOR TREES, SHRUBS, PLANTER BOXES, ETC. SEE LANDSCAPE PLAN

WROUGHT IRON FENCE AT PROPERTY PERIMETER - TYPICAL EXCEPT ALONG APACHE

NOTE: ACCESSIBLE ROUTES ARE PROVIDED FROM APACHE SIDEWALK TO ALL BUILDING ENTRANCES - SEE CIVIL GRADING PLAN FOR WALK ELEVATION MARKERS

FOR TREES, SHRUBS, PLANTER BOXES, ETC. SEE LANDSCAPE PLAN

WROUGHT IRON FENCE AT PROPERTY PERIMETER - TYPICAL EXCEPT ALONG APACHE

NOTE: FOR EXACT LOCATION OF FIRE HYDRANTS SEE CIVIL PLANS

FOR TREES, SHRUBS, PLANTER BOXES, ETC. SEE LANDSCAPE PLAN

WROUGHT IRON FENCE AT PROPERTY PERIMETER - TYPICAL EXCEPT ALONG APACHE

NOTE: EXTEND SANITARY SEWER IN APACHE FROM SW TO SEE SITE CORNERS

FOR TREES, SHRUBS, PLANTER BOXES, ETC. SEE LANDSCAPE PLAN

WROUGHT IRON FENCE AT PROPERTY PERIMETER - TYPICAL EXCEPT ALONG APACHE

NOTE: DWELLING UNITS ABOVE (AT LEVELS 2-5)

FOR TREES, SHRUBS, PLANTER BOXES, ETC. SEE LANDSCAPE PLAN

WROUGHT IRON FENCE AT PROPERTY PERIMETER - TYPICAL EXCEPT ALONG APACHE

EXISTING FIRE HYDRANT TO BE PRESERVED FOR ALL FIRE HYDRANT LOCATIONS

FOR TREES, SHRUBS, PLANTER BOXES, ETC. SEE LANDSCAPE PLAN

WROUGHT IRON FENCE AT PROPERTY PERIMETER - TYPICAL EXCEPT ALONG APACHE

EXISTING FIRE HYDRANT TO BE PRESERVED FOR ALL FIRE HYDRANT LOCATIONS

FOR TREES, SHRUBS, PLANTER BOXES, ETC. SEE LANDSCAPE PLAN

WROUGHT IRON FENCE AT PROPERTY PERIMETER - TYPICAL EXCEPT ALONG APACHE

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FOR TREES, SHRUBS, PLANTER BOXES, ETC. SEE LANDSCAPE PLAN

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WROUGHT IRON FENCE AT PROPERTY PERIMETER - TYPICAL EXCEPT ALONG APACHE

EXISTING FIRE HYDRANT TO BE PRESERVED FOR ALL FIRE HYDRANT LOCATIONS

FOR TREES, SHRUBS, PLANTER BOXES, ETC. SEE LANDSCAPE PLAN

ATTACHMENT 10

THESE DRAWINGS OR ANY PARTS THEREOF, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF THE ARCHITECTS AND MAY NOT BE REPRODUCED OR USED IN OTHER WORK WITHOUT THEIR WRITTEN CONSENT.

APPLICANT:
 Granddaddy Homecare Properties, Inc.
 1425 North University Avenue
 Phoenix, UT 84404
 Project Address:
 1001 East Apache Boulevard, Tempe, AZ
 PROJECT ADDRESS:
 1001 East Apache Boulevard, Tempe, AZ

KEN FARRIS ARCHITECTS
 2020 NORTH UNIVERSITY AVENUE SUITE 4000 PHOENIX, UT 84404 PHN: 907 377-6903

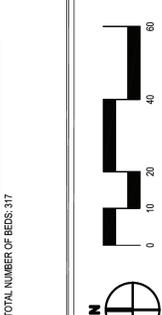
THE RETREAT
 ARIZONA
 1ST LEVEL FLOOR PLAN -
 PRELIMINARY PLANS -

DESIGN: KSWH
 CHECKED: KSH
 SCALE: 06/27/2008
 SHEET NO.
 A1.1

LEVEL 1 PLAN
 7/8" = 1'-0" (24x36 SHEETS)
 SEE DATA SHEET (A0.1) FOR SQUARE FOOTAGES

DWELLING UNIT DATA	BR UNIT	BR UNIT	4BR UNIT	TOTAL UNITS
LEVEL 1	3	5	5	13
LEVEL 2	6	11	10	27
LEVEL 3	6	11	11	28
LEVEL 4	6	11	11	28
LEVEL 5	6	11	11	28
TOTALS	27	49	46	124

TOTAL NUMBER OF BEDS: 317



DESERT MUSEUM PALO VERDE STATE PARK
 ALONG APACHE - SEE LANDSCAPE PLAN
 FOR TREES, SHRUBS, PLANTER BOXES, ETC.
 SEE LANDSCAPE PLAN

NOTE: 20% OF COMMERCIAL SPACE IS TO BE DESIGNATED AS RESTAURANT SPACE FOR PARKING CALCULATION PURPOSES

PROPERTY LINE AFTER 5' DESIGNATION TO RIGHT OF WAY

PROPERTY LINE BEFORE 5' DESIGNATION TO RIGHT OF WAY

NOTE: PROVIDE HIGH REFLECTIVE WHITE PAINT ON WALLS AND CEILING OF GARAGE INTERIOR

ADJACENT PROPERTY CURB EDGE

ADJACENT PROPERTY LANDSCAPING

DESERT MUSEUM PALO VERDE STATE PARK
 ALONG APACHE - SEE LANDSCAPE PLAN
 FOR TREES, SHRUBS, PLANTER BOXES, ETC.
 SEE LANDSCAPE PLAN

APPLICANT:
 Glenwood International Properties, Inc.
 1425 North University Avenue
 Phoenix, AZ 85004
 CONTACT:
 David R. Freeman - (602) 343-8000
 PROJECT ADDRESS:
 1000 East Apache Boulevard, Tempe, AZ

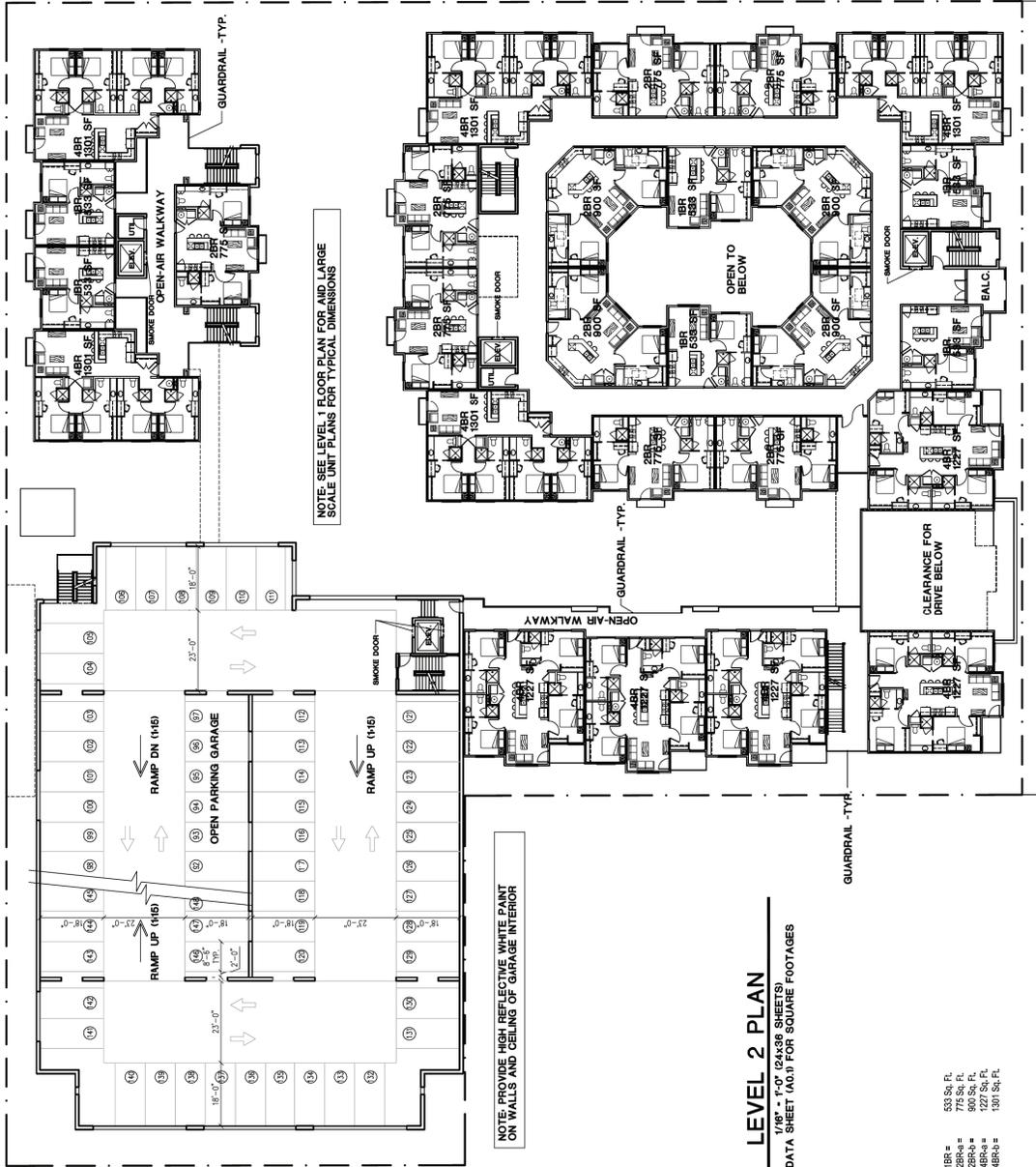


2050 NORTH UNIVERSITY AVENUE SUITE 4000 PHOENIX AZ 85004 PHONE 602 377-6303

THE RETREAT @
 1000 APACHE
 ARIZONA
 2ND LEVEL FLOOR PLAN
 -- PRELIMINARY PLANS --

DESIGNER:
 KSWH
 CHECKED:
 KSH
 DATE:
 06/27/2008
 SCALE:
 JOB NO.:

SHEET
A1.2
 COLLETTI ARCHITECTURE
 PRINCIPALS



NOTE: SEE LEVEL 1 COR PLAN FOR A LARGE SCALE UNIT PLANS FOR TYPICAL DIMENSIONS

NOTE: PROVIDE HIGH REFLECTIVE WHITE PAINT ON WALLS AND CEILING OF GARAGE INTERIOR

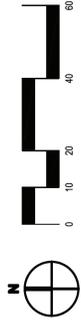
LEVEL 2 PLAN

1/8" = 1'-0" (24x36 SHEETS)
 SEE DATA SHEET (A0.1) FOR SQUARE FOOTAGES

DWELLING UNIT DATA				
	1BR UNIT	2BR UNIT	4BR UNIT	TOTAL UNITS
LEVEL 1	3	5	5	13
LEVEL 2	6	11	10	27
LEVEL 3	6	11	11	28
LEVEL 4	6	11	11	28
LEVEL 5	6	11	11	28
TOTALS	27	49	46	124

TOTAL NUMBER OF BEDS: 317

- 1BR = 533 Sq. Ft.
- 2BR = 775 Sq. Ft.
- 2BR-a = 800 Sq. Ft.
- 4BR-a = 1227 Sq. Ft.
- 4BR-b = 1301 Sq. Ft.



ATTACHMENT 20

THESE DRAWINGS OR ANY PARTS THEREOF, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF THE ARCHITECTS AND MAY NOT BE REPRODUCED OR USED IN OTHER WORK WITHOUT THEIR WRITTEN CONSENT.

APPLICANT:
 Glenwood International Properties, Inc.
 1425 North University Avenue
 Phoenix, AZ 85004
 CONTACT:
 David R. Freeman - (602) 343-8000
 PROJECT ADDRESS:
 1000 East Apache Boulevard, Tempe, AZ

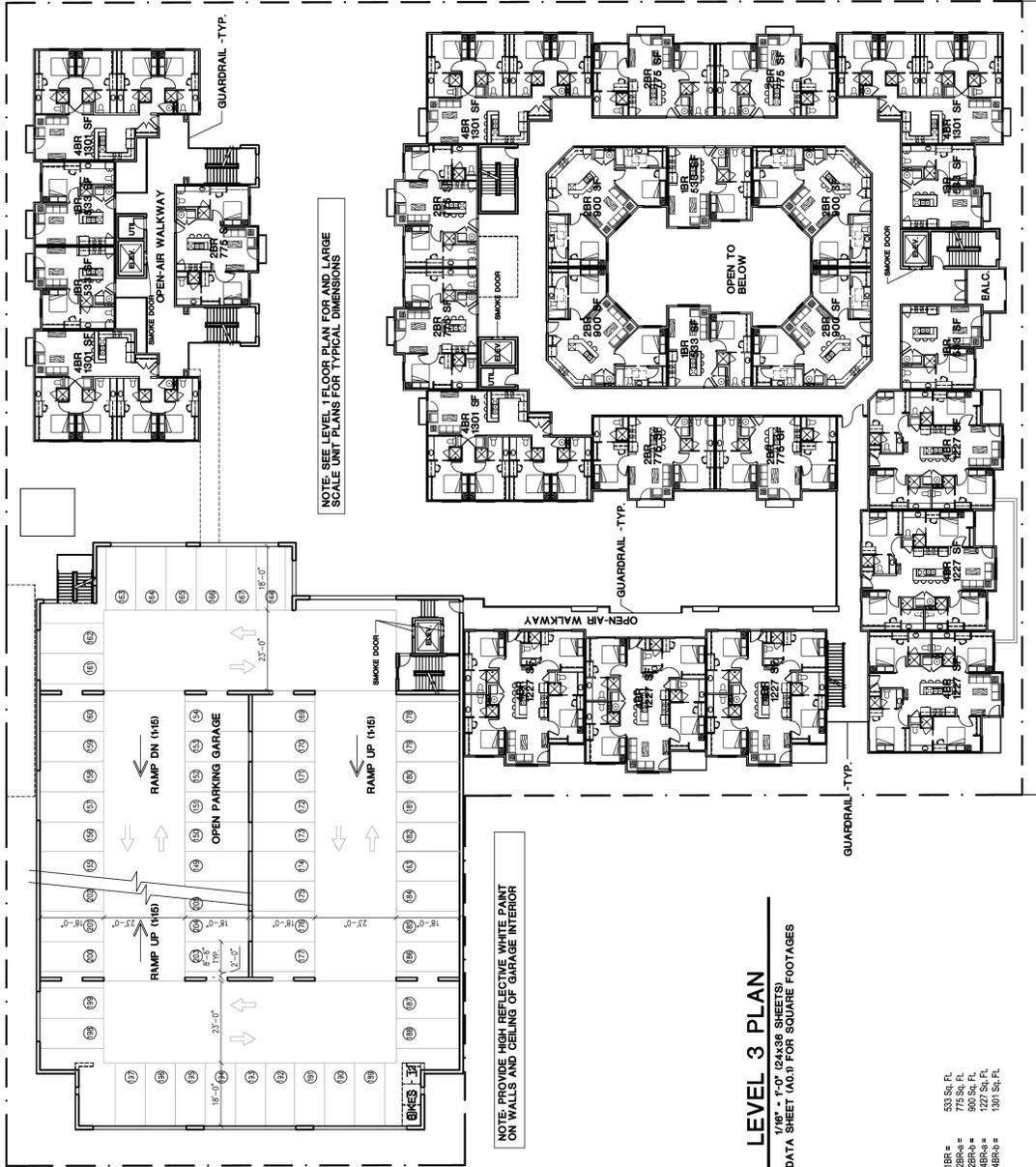


THE RETREAT @
 1000 APACHE
 ARIZONA
 3RD LEVEL FLOOR PLAN
 -- PRELIMINARY PLANS --

DESIGNER:
 KSHW
 CHECKED:
 KSH
 DATE:
 06/27/2008
 SCALE:
 JOB NO.:

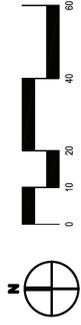


AL.3
 SHEET



DWELLING UNIT DATA				
	1BR UNIT	2BR UNIT	4BR UNIT	TOTAL UNITS
LEVEL 1	3	5	5	13
LEVEL 2	6	11	10	27
LEVEL 3	6	11	11	28
LEVEL 4	6	11	11	28
LEVEL 5	6	11	11	28
TOTALS	27	49	48	124

TOTAL NUMBER OF BEDS: 317



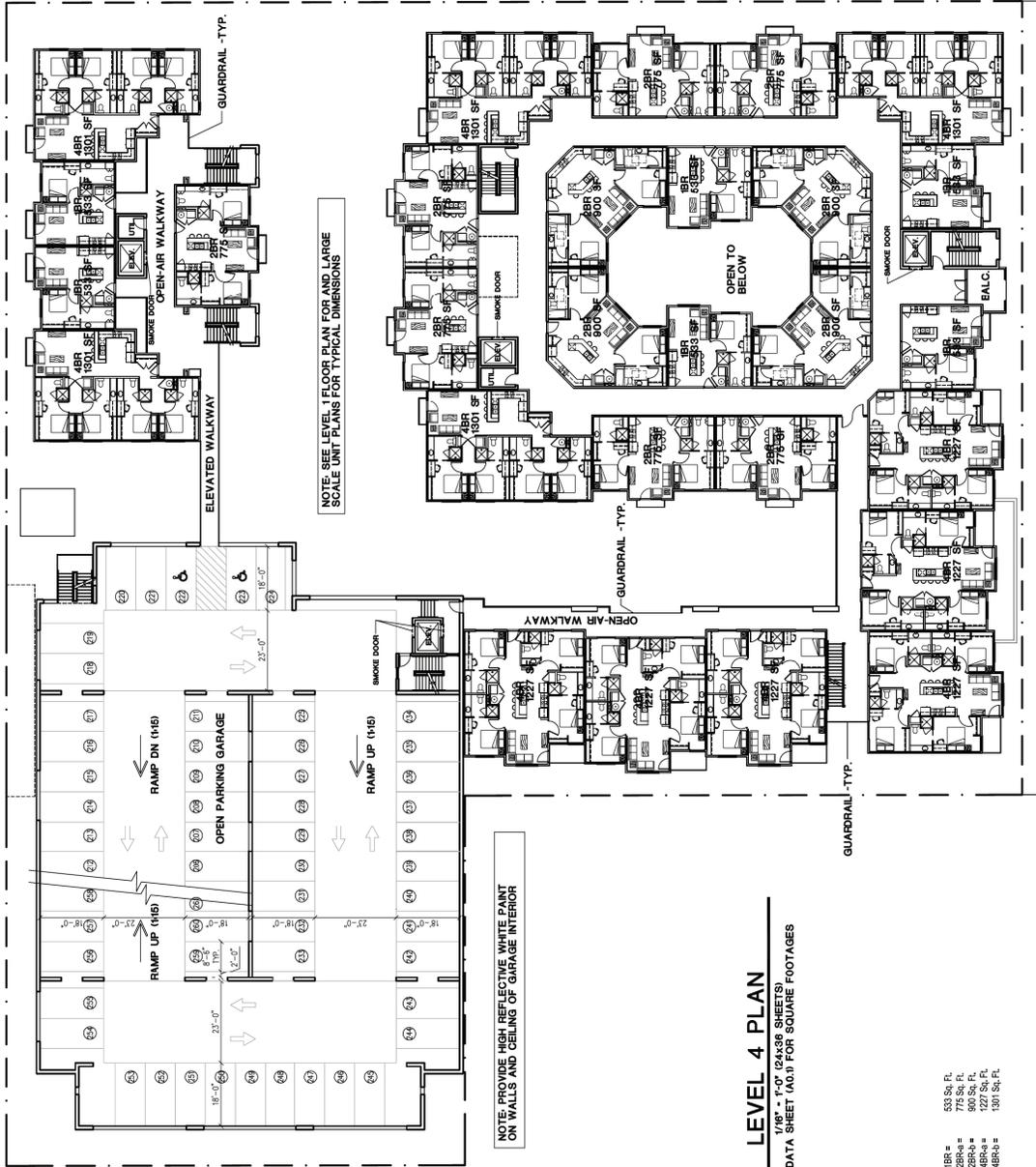
ATTACHMENT 21

APPLICANT:
 Glenwood Homecare/Innovative Properties, Inc.
 1425 North University Avenue
 Phoenix, AZ 85004
 CONTACT:
 David R. Freeman - (602) 343-8800
 PROJECT ADDRESS:
 1000 East Apache Boulevard, Tempe, AZ



THE RETREAT @
 1000 APACHE
 ARIZONA
 4TH LEVEL FLOOR PLAN
 -- PRELIMINARY PLANS --

DESIGN: KWH
 CHECKED: KBI
 SCALE: 06/27/2008
 SHEET: A1.4
 JOB NO.:

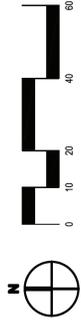


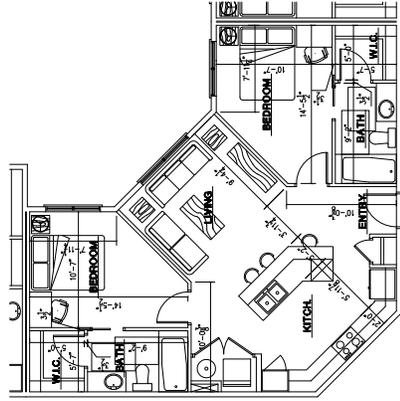
LEVEL 4 PLAN

1/8" = 1'-0" (24x36 SHEETS)
 SEE DATA SHEET (A0.1) FOR SQUARE FOOTAGES

DWELLING UNIT DATA				
	1BR UNIT	2BR UNIT	4BR UNIT	TOTAL UNITS
LEVEL 1	3	5	5	13
LEVEL 2	6	11	10	27
LEVEL 3	6	11	11	28
LEVEL 4	6	11	11	28
LEVEL 5	6	11	11	28
TOTALS	27	49	48	124

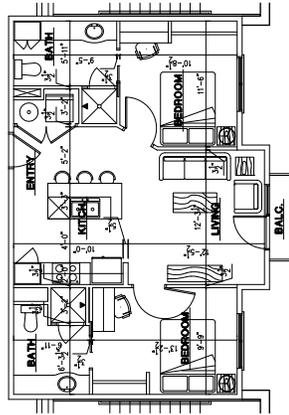
TOTAL NUMBER OF BEDS: 317





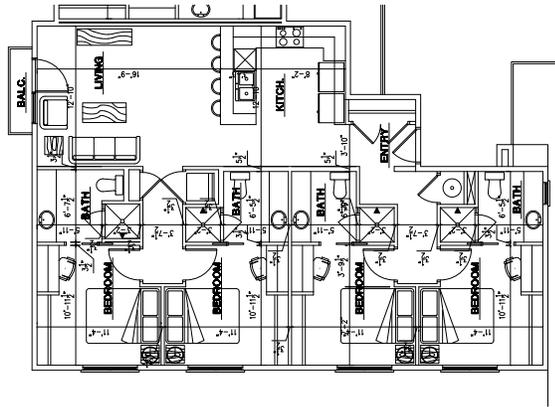
2 BEDROOM - 900 S.F.

3/16" = 1'-0" (24x36 SHEETS)



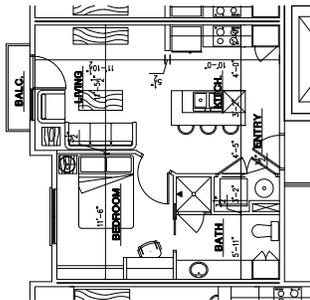
2 BEDROOM - 775 S.F.

3/16" = 1'-0" (24x36 SHEETS)



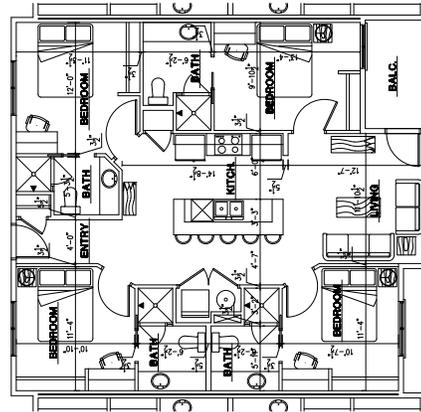
4 BEDROOM - 1301 S.F.

3/16" = 1'-0" (24x36 SHEETS)



1 BEDROOM - 533 S.F.

3/16" = 1'-0" (24x36 SHEETS)



4 BEDROOM - 1227 S.F.

3/16" = 1'-0" (24x36 SHEETS)

PER CHAPTER 11 OF THE 2003 IBC, 7% OF THE DWELLING TYPE A UNITS FOR THIS TYPE OF PROJECT ARE REQUIRED TO BE TYPE A AND THE REMAINDER ARE REQUIRED TO BE TYPE B. WITH 124 TOTAL UNITS, THIS PROJECT WILL HAVE 9 TYPE A UNITS, 115 TYPE B UNITS, ONE 3BR UNIT, ONE 2BR UNIT, AND ONE 1BR UNIT. TYPE A UNITS WILL BE DESIGNED AT TIME OF CONSTRUCTION DOCUMENTS.

APPLICANT:
 City of Tempe
 1425 North University Avenue
 Phoenix, AZ 85004
 CONTACT:
 David R. Freeman - (602) 424-8800
 PROJECT ADDRESS:
 1000 East Apache Boulevard, Tempe, AZ

KENT FABRIS ARCHITECT
 2552 NORTH UNIVERSITY AVENUE SUITE 4000 PHOENIX AZ 85016 PHONE 602 377-6303

THE RETREAT @ 1000 APACHE
 LARGE SCALE UNIT PLANS
 TEMPE ARIZONA
 -- PRELIMINARY PLANS --

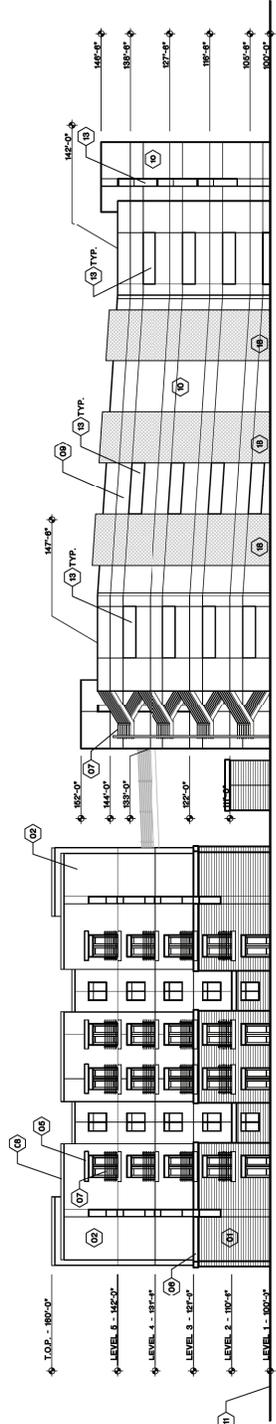
DATE: 06/27/2008	SCALE:	JOB NO:	SHEET:
CHECKED: KSH			A1.6
DRAWN: KSW			PRELIMINARY



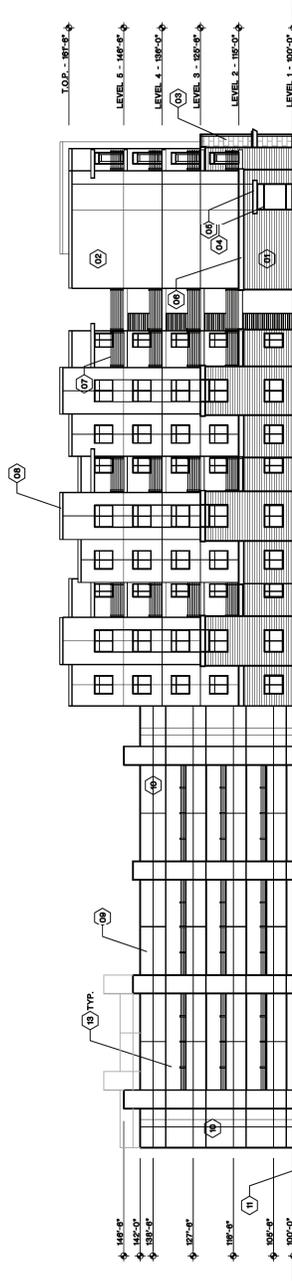
KEYNOTES

- (1) CMU - SEE MATERIAL BOARD FOR COLOR
- (2) EXTERIOR PLASTER SYSTEM OVER FIRE-RETARDANT WOOD FRAME
- (3) METAL PANEL CLADDING
- (4) ALUMINUM STOREFRONT
- (5) METAL FRAME CANOPY
- (6) PRECAST CONCRETE PANEL
- (7) METAL GUARDRAIL/RAILING
- (8) METAL FLASHING
- (9) PARKING STRUCTURE
- (10) CONCRETE - PAINTED
- (11) GRADE
- (12) OPERABLE CANOPY
- (13) OPENINGS AT PARKING STRUCTURE
- (14) MECHANICAL / ROOFTOP EQUIPMENT
- (15) PARAPET
- (16) CONCRETE DOUBLE-TEES
- (17) ADDRESS SIGN - 12" HIGH INDIVIDUAL MOUNT, METAL 90% MIN. CONTRAST W/ BACKGROUND DIRECT OR INTERNALLY ILLUMINATED, TYPICAL
- (18) TO ACCOMMODATE WIND/VEGETATION PARKING STRUCTURE - PROVIDED

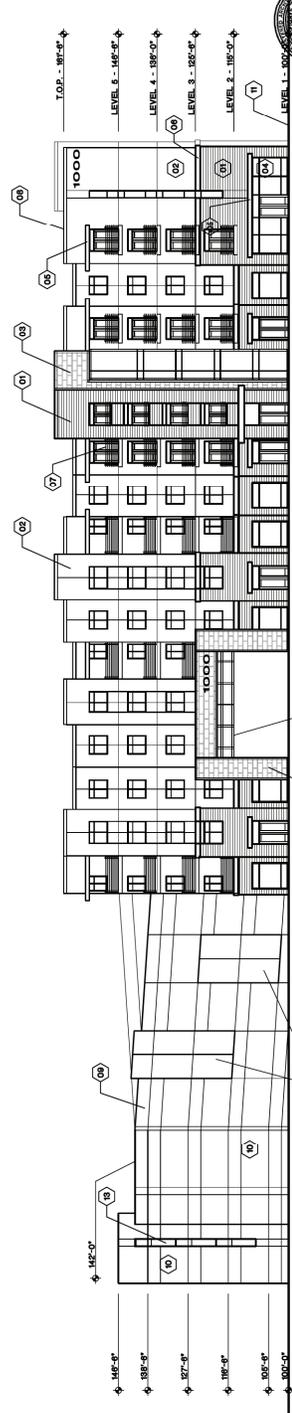
ATTACHMENT 26



NORTH ELEVATION
1/8" = 1'-0" (24x36 SHEETS)



WEST ELEVATION
1/8" = 1'-0" (24x36 SHEETS)



SOUTH ELEVATION
1/8" = 1'-0" (24x36 SHEETS)



APPLICANT:
Clarendon International Properties, Inc.
1425 North University Avenue
Phoenix, AZ 85004
CONTACT:
David R. Freeman - (602) 342-8800
PROJECT ADDRESS:
1000 East Apache Boulevard, Tempe, AZ

KENT FABRIS ARCHITECT
2020 NORTH UNIVERSITY AVENUE SUITE 4000 PHOENIX AZ 85004 PHN: 602.377.6303

THE RETREAT @ 1000 APACHE
TEMPERATURE
EXTERIOR ELEVATIONS
-- PRELIMINARY PLANS --

DATE: 06/27/2008
SCALE:
CHECKED: KSH
DESIGNED: KWH
SHEET: A2.1
JOB NO.:



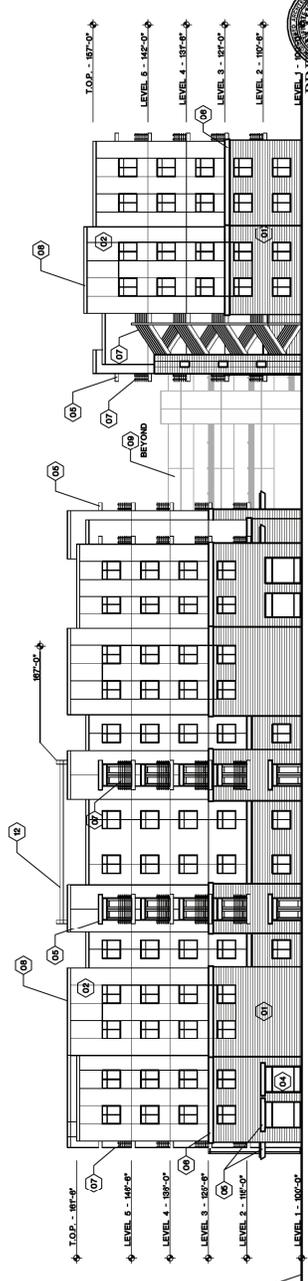
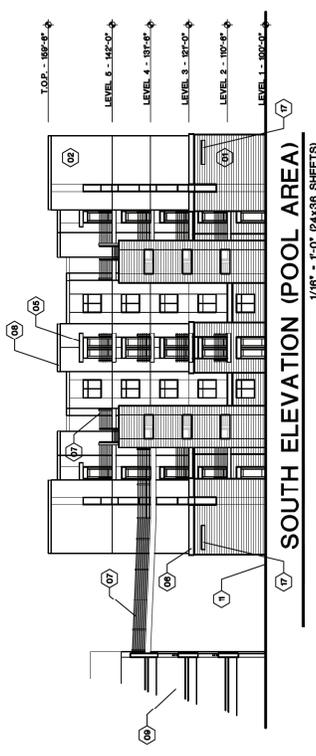
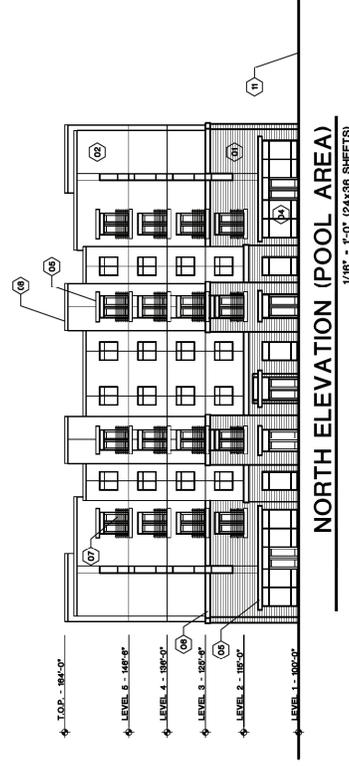
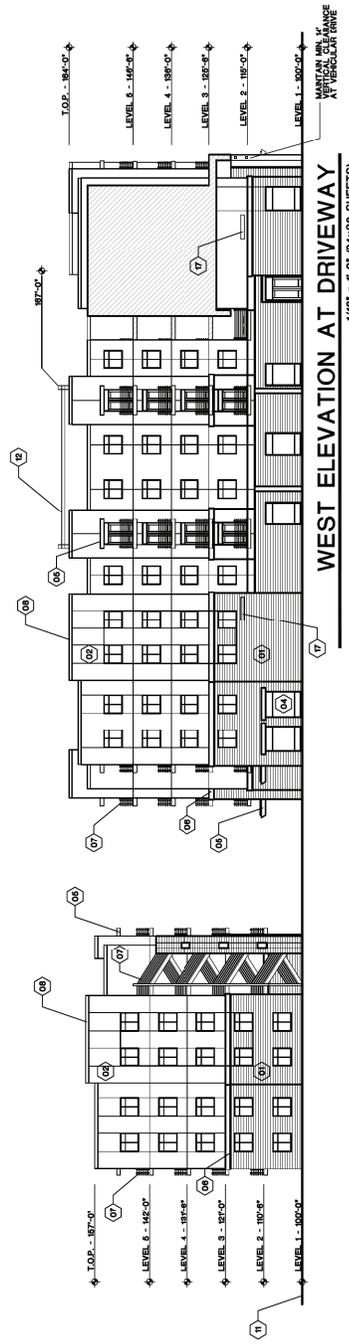
APPLICANT:
 Glenwood International Properties, Inc.
 1425 North University Avenue
 Phoenix, AZ 85004
 CONTACT:
 David R. Freeman - (602) 342-8800
 PROJECT ADDRESS:
 1000 East Apache Boulevard, Tempe, AZ



THE RETREAT @
 1000 APACHE
 ARIZONA
 EXTERIOR ELEVATIONS
 -- PRELIMINARY PLANS --

DESIGNED BY: KSWH
 CHECKED BY: KSHH
 DATE: 06/27/2008
 SCALE: 1/8" = 1'-0"
 SHEET: A2.2
 PROJECT: COLLETTI UNION

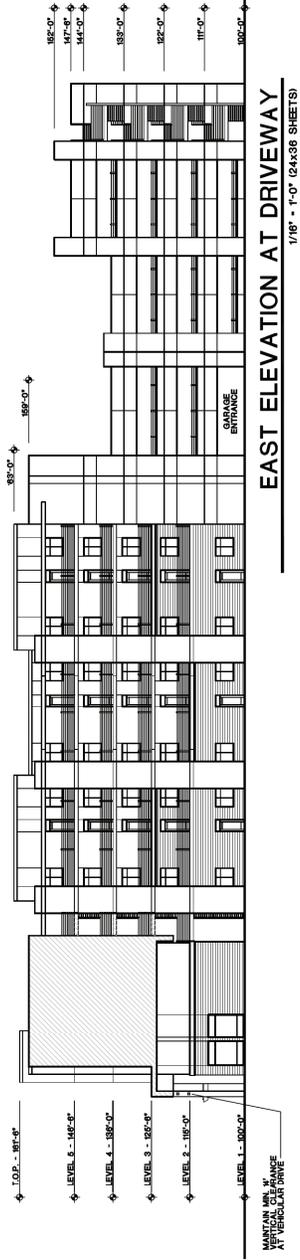
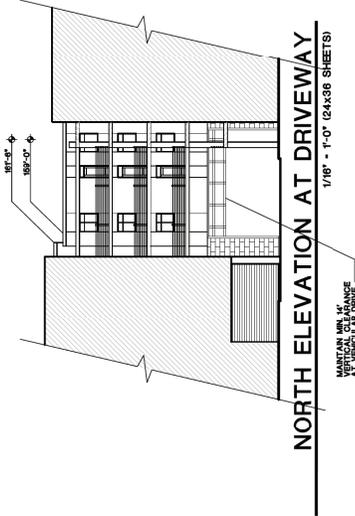
- KEYNOTES**
- (1) CMU - SEE MATERIAL BOARD FOR COLOR
 - (2) EXTERIOR PLASTER SYSTEM OVER FIRE-RETARDANT WOOD FRAME
 - (3) METAL PANEL CLADDING
 - (4) ALUMINUM STOREFRONT
 - (5) METAL FRAME CANOPY
 - (6) PRECAST CONCRETE PANEL
 - (7) METAL GUARDRAIL/RAILING
 - (8) METAL FLASHING
 - (9) PARKING STRUCTURE
 - (10) CONCRETE - PAINTED
 - (11) GRADE
 - (12) OPERABLE CANOPY
 - (13) OPENINGS AT PARKING STRUCTURE
 - (14) MECHANICAL / ROOFTOP EQUIPMENT
 - (15) PARAPET
 - (16) CONCRETE DOUBLE-TEES
 - (17) ADDRESS SIGN - 12" HIGH INDIVIDUAL MOUNT, METAL 50% MIN. CONTRAST W/ BACKGROUND DIRECT OR INTERNALLY ILLUMINATED, TYPICAL
 - (18) TO ACCOMMODATE WIND VEGETATION



KEYNOTES

- (1) CMU - SEE MATERIAL BOARD FOR COLOR
- (2) EXTERIOR PLASTER SYSTEM OVER FIRE-RETARDANT WOOD FRAME
- (3) METAL PANEL CLADDING
- (4) ALUMINUM STOREFRONT
- (5) METAL FRAME CANOPY
- (6) PRECAST CONCRETE PANEL
- (7) METAL GUARDRAIL/RAILING
- (8) METAL FLASHING
- (9) PARKING STRUCTURE
- (10) CONCRETE - PAINTED
- (11) GRADE
- (12) OPERABLE CANOPY
- (13) OPENINGS AT PARKING STRUCTURE
- (14) MECHANICAL / ROOFTOP EQUIPMENT
- (15) PARAPET
- (16) CONCRETE DOUBLE-TEES
- (17) ADDRESS SIGN - 12" HIGH, INDIVIDUAL MOUNT, METAL 50% MIN. CONTRAST W/ BACKGROUND, DIRECT OR INTERNALLY ILLUMINATED, TYPICAL
- (18) CONCRETE DOUBLE-TEES
- (19) TO ACCOMMODATE WIND/VEGETATION

ATTACHMENT 28



APPLICANT:
 Clearwood International Properties, Inc.
 1425 North University Avenue
 Phoenix, AZ 85004
 CONTACT:
 David R. Freeman - (801) 342-8800
 PROJECT ADDRESS:
 1000 East Apache Boulevard, Tempe, AZ

KEN FABRIS ARCHITECT
 2525 NORTH UNIVERSITY AVENUE SUITE 4000 PHOENIX AZ 85016
 PHOENIX 602 977-6303

THE RETREAT @ 1000 APACHE
 TEMPE ARIZONA
 EXTERIOR ELEVATIONS
 -- PRELIMINARY PLANS --

DESIGNER: KWH
 CHECKED: KWH
 DATE: 06/27/2008
 SCALE:
 JOB NO:
 SHEET
A2.3



KEYNOTES

- 01 CMU - SEE MATERIAL BOARD FOR COLOR
- 02 EXTERIOR PLASTER SYSTEM OVER FIRE-RETARDANT WOOD FRAME
- 03 METAL PANEL CLADDING
- 04 ALUMINUM STOREFRONT
- 05 METAL FRAME CANOPY
- 06 PRECAST CONCRETE PANEL
- 07 METAL GUARDRAIL/RAILING
- 08 METAL FLASHING
- 09 PARKING STRUCTURE
- 10 CONCRETE - PAINTED
- 11 GRADE
- 12 OPERABLE CANOPY
- 13 OPENINGS AT PARKING STRUCTURE
- 14 MECHANICAL / ROOFTOP EQUIPMENT
- 15 PARAPET
- 16 CONCRETE DOUBLE-TEES
- 17 ADDRESS SIGN - 12' HIGH, INDIVIDUAL MOUNT, METAL, 50% MIN. CONTRAST W/ BACKGROUND, DIRECT OR INTERNALLY ILLUMINATED, TYPICAL
- 18 METAL LATTICE SCREEN ATTACHED TO PARKING STRUCTURE - PROVIDED TO ACCOMMODATE VINES/VEGETATION

LANDSCAPE LEGEND

SYM.	BOTANICAL/ COMMON NAME	SIZE
------	---------------------------	------

trees

	Cercidium hybrid "Desert Museum"/ Desert Museum Palo Verde	24" box
	Tipuana Tipu/ Tipu Tree	24" box
	Dalbergis sissoo/ Sissoo Tree	24" box

medium shrubs

	Simmondsia chinensis "Vista"/ Compact Jojoba	
	Ruellia peninsularis/ Baja Ruella	5 gallon

small shrubs

	Ilex vomitoria "Nana" / Dwarf Yaupon Holly	5 gallon
	Punica granatum "Chico" / Dwarf Pomegranate	5 gallon
	Eremophylla glabra / Red Flowering Emu Bush	5 gallon

large accents

	Hesperaloe funifera/ Giant Hesperaloe	5 gallon
	Dasylirion longissima/ Toothless Desert Spoon	5 gallon

medium accents

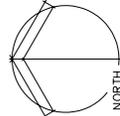
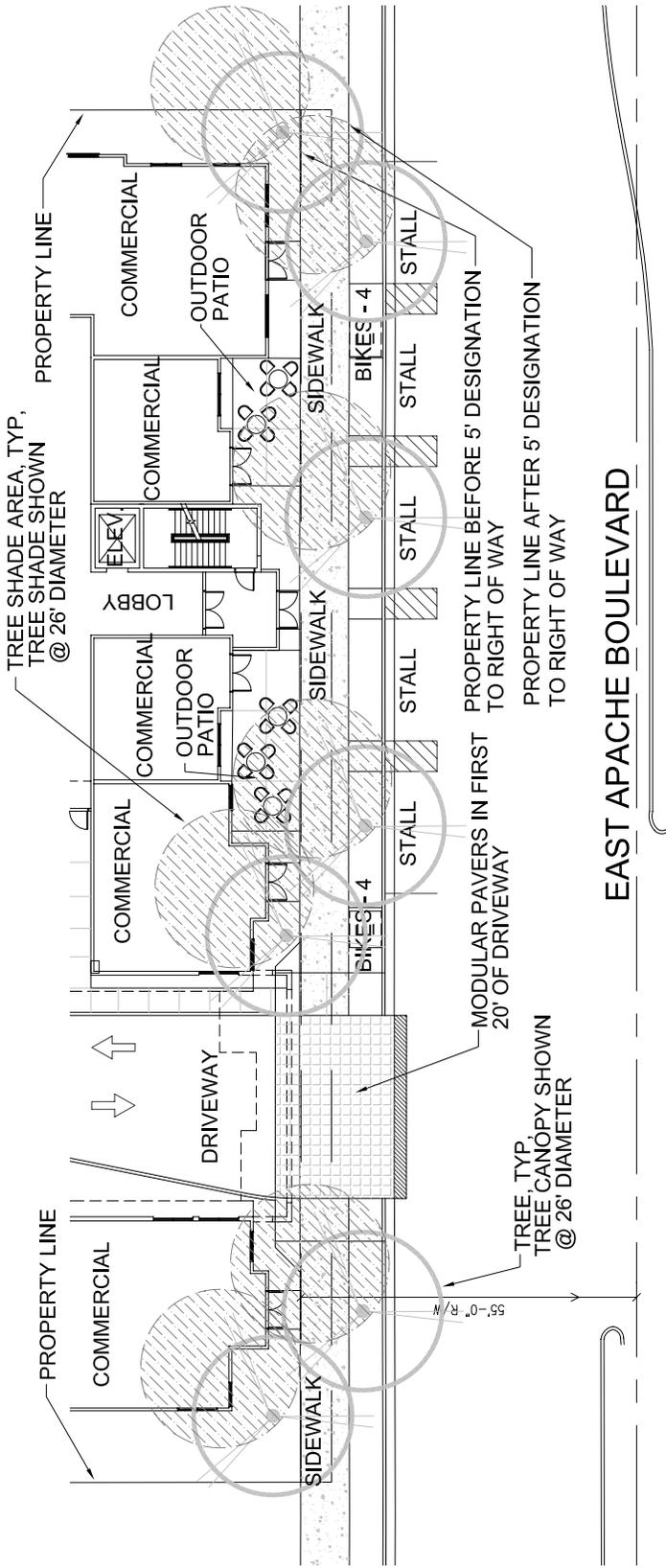
	Hesperaloe parviflora/ Red Yucca	5 gallon
	Aloe daweil/ Dawes Aloe	5 gallon
	Pedilanthis macrocarpa/ Lady Slipper	5 gallon
	Agave desmettiana "Variegata"/ Variegated Smooth Agave	5 gallon

small accents

	Yucca pallida/ Pale Yucca	5 gallon
	Muhlenbergia rigens "Nashville"/ Nashville Deer Grass	5 gallon

rock

Rock Mulch: Color-Table Mesa Brown	3/8" Minus
---------------------------------------	------------



SIDEWALK SHADE EXHIBIT

SCALE 1" = 30'-0"



Expiration Date: 9-30-2010

SIDEWALK SHADE CALCULATION:

SIDEWALK AREA= 1,560 s.f.

SIDEWALK SHADE AREA REQUIRED= 515 s.f. (33%- Summer Solstice-3pm)

SIDEWALK SHADE PROVIDED= 830 s.f. (53%)

TERRANO

landscape architecture urban design

2120 s. rural road p. 921-2779

tempe, az. 85282 f. 921-2780

RETREAT @ 1000 E. APACHE

100 E. APACHE BLVD

TEMPE, ARIZONA

Drawn RLV

Project no. 08007

Date June 25, 08

LD1

SITE AERIAL PHOTO



1



2



3



4



9



10



11



12



17



18



19



20



25



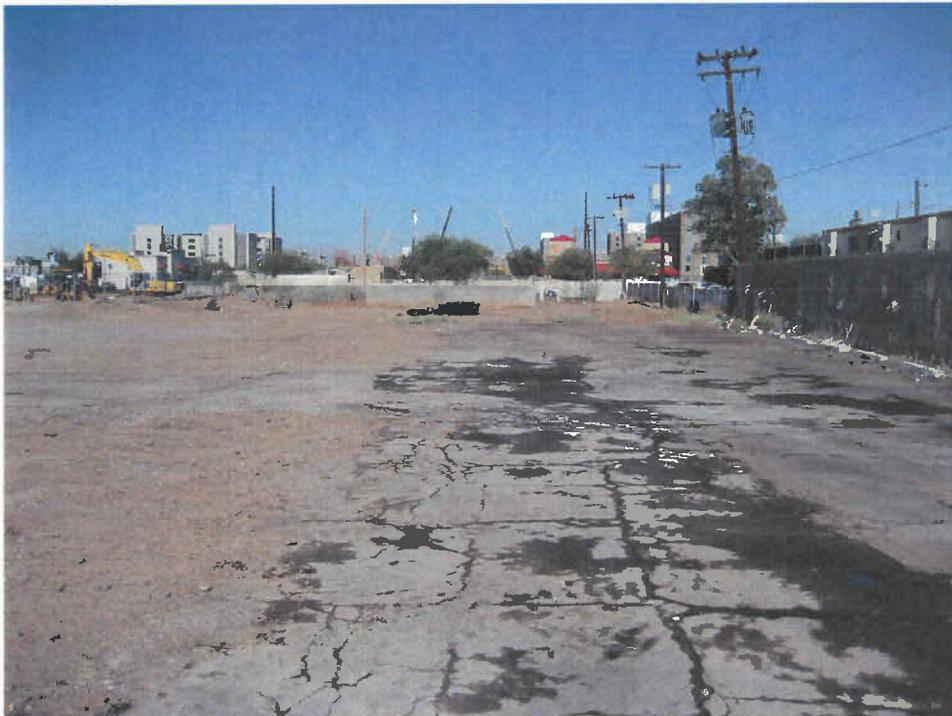
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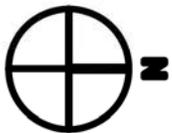
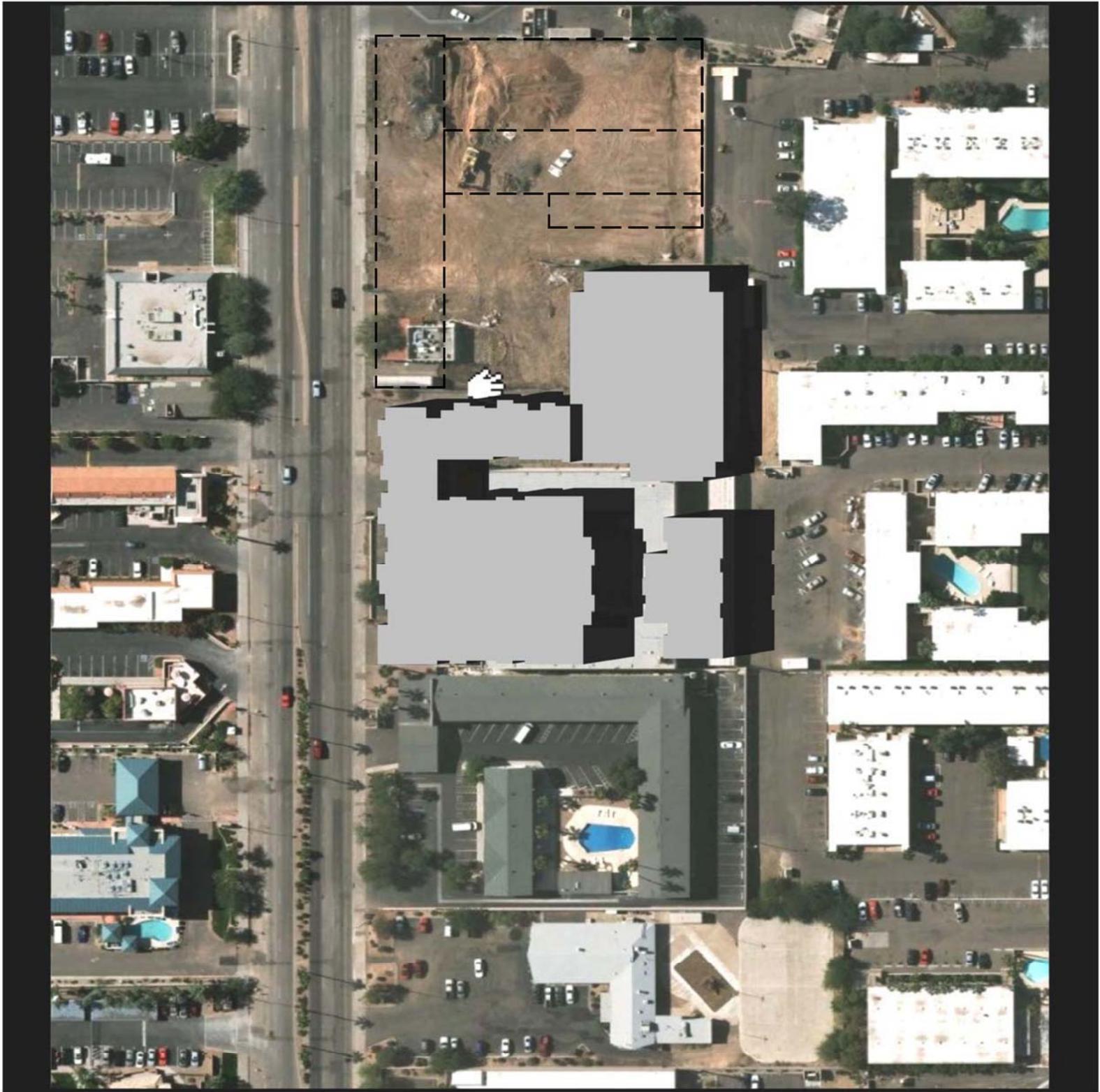


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28





**THE RETREAT @
1000 APACHE**

TEMPE

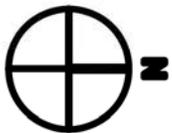
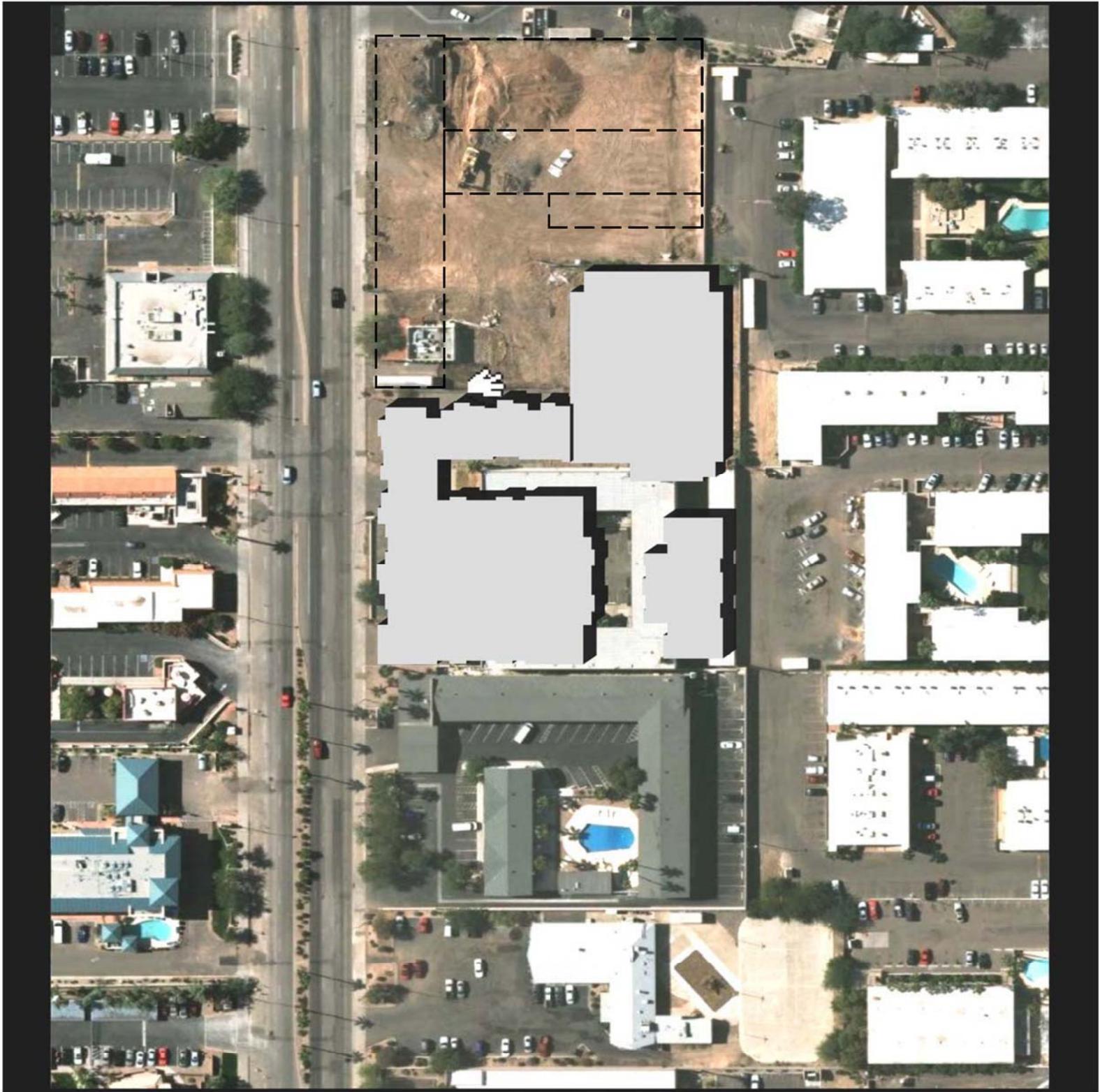
ARIZONA

12PM AUTUMNAL EQUINOX

ATTACHMENT 14
ATTACHMENT 43

APPLICANT:
Glenwood Intermountain Properties, Inc.
1425 North University Avenue
Provo, UT 84604
CONTACT:
David R. Freeman - (801) 342-4800

PROJECT ADDRESS:
1000 East Apache Boulevard, Tempe, AZ



THE RETREAT @ 1000 APACHE

TEMPE

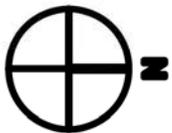
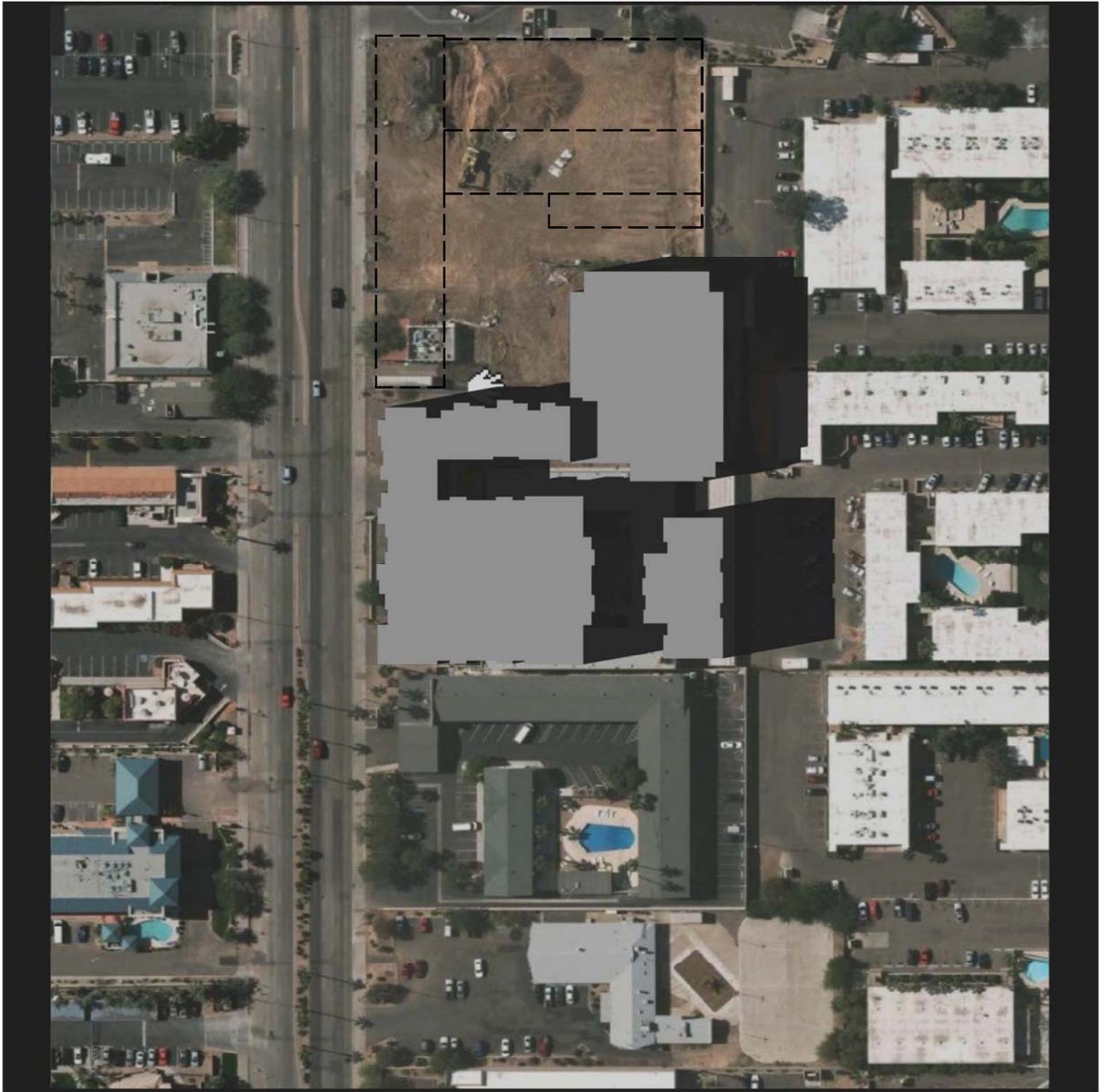
ARIZONA

12PM SUMMER SOLAR STUDY

ATTACHMENT 44

APPLICANT:
Glenwood Intermountain Properties, Inc.
1425 North University Avenue
Provo, UT 84604
CONTACT:
David R. Freeman - (801) 342-4800

PROJECT ADDRESS:
1000 East Apache Boulevard, Tempe, AZ



THE RETREAT @ 1000 APACHE

TEMPE

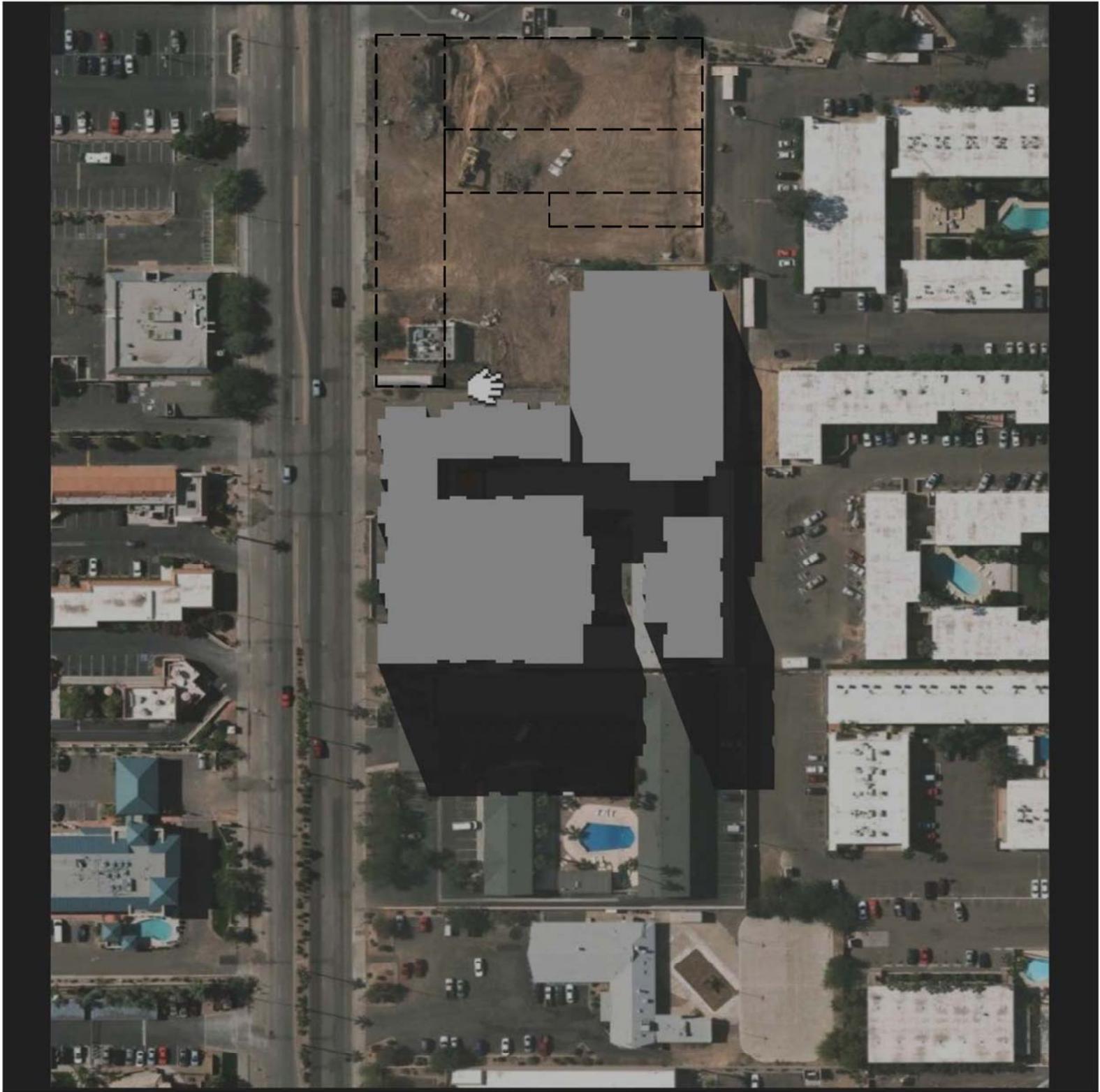
ARIZONA

12PM WINTER SOLSTICE

ATTACHMENT 45
ATTACHMENT 45

APPLICANT:
Glenwood Intermountain Properties, Inc.
1425 North University Avenue
Provo, UT 84604
CONTACT:
David R. Freeman - (801) 342-4800

PROJECT ADDRESS:
1000 East Apache Boulevard, Tempe, AZ



THE RETREAT @ 1000 APACHE

TEMPE

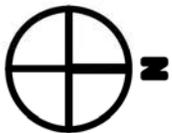
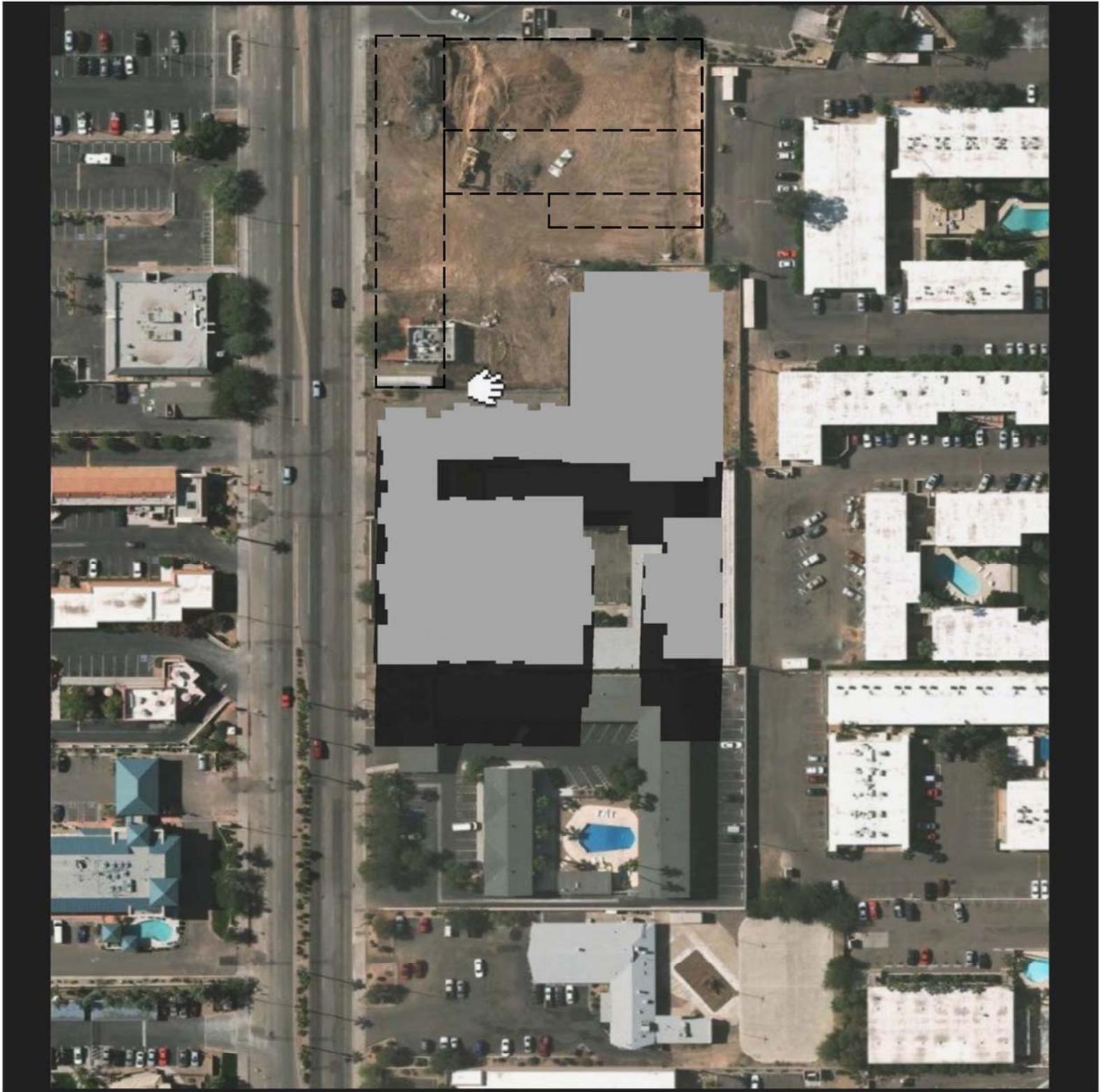
ARIZONA

4PM AUTUMNAL EQUINOX

ATTACHMENT 40
ATTACHMENT 40

APPLICANT:
Glenwood Intermountain Properties, Inc.
1425 North University Avenue
Provo, UT 84604
CONTACT:
David R. Freeman - (801) 342-4800

PROJECT ADDRESS:
1000 East Apache Boulevard, Tempe, AZ



THE RETREAT @ 1000 APACHE

TEMPE

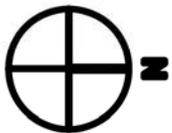
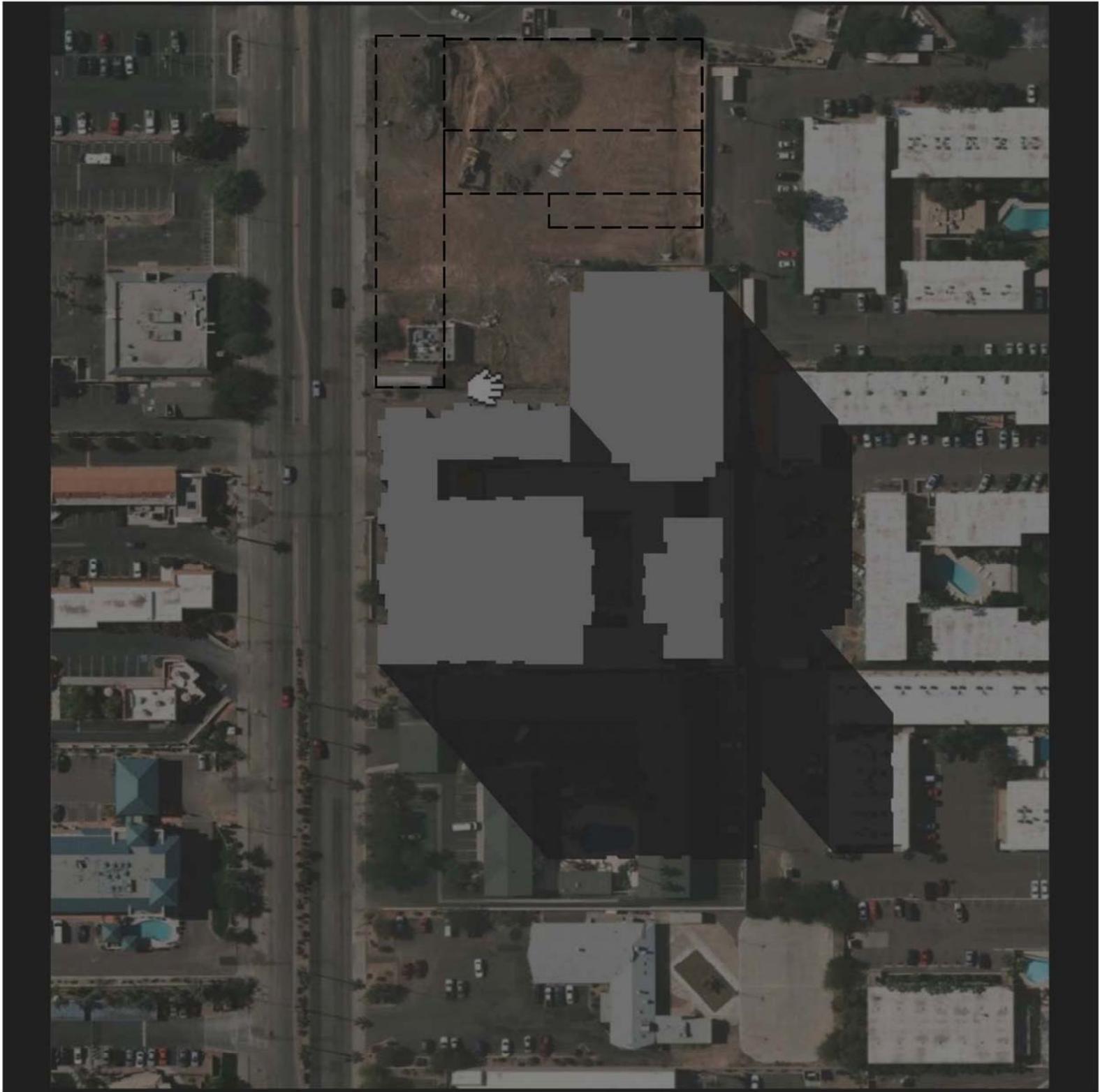
ARIZONA

4PM SUMMER SOLSTICE

ATTACHMENT 47

APPLICANT:
Glenwood Intermountain Properties, Inc.
1425 North University Avenue
Provo, UT 84604
CONTACT:
David R. Freeman - (801) 342-4800

PROJECT ADDRESS:
1000 East Apache Boulevard, Tempe, AZ



THE RETREAT @ 1000 APACHE

TEMPE

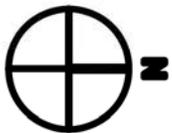
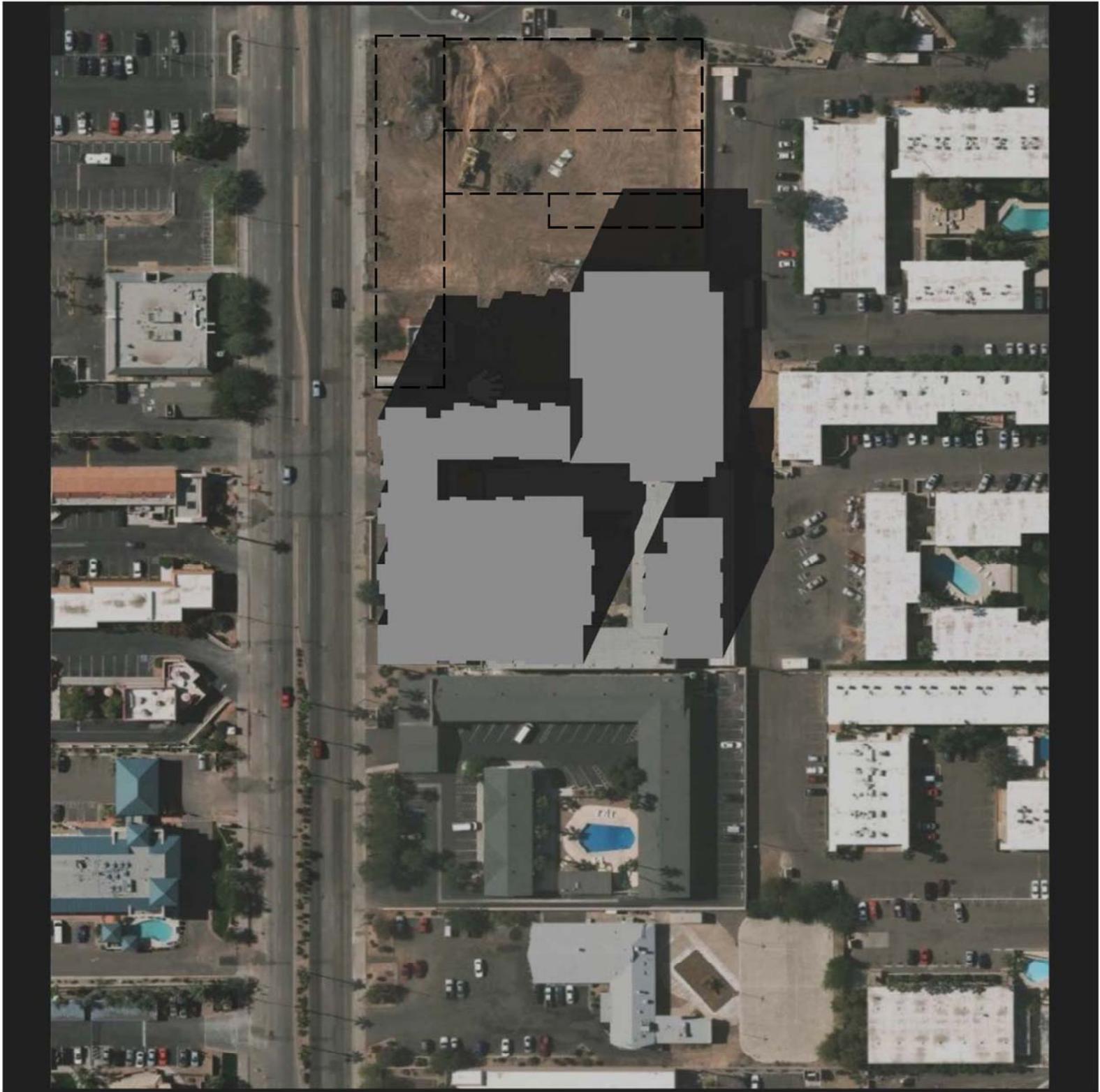
ARIZONA

4PM WINTER SOLSTICE

ATTACHMENT 4B

APPLICANT:
Glenwood Intermountain Properties, Inc.
1425 North University Avenue
Provo, UT 84604
CONTACT:
David R. Freeman - (801) 342-4800

PROJECT ADDRESS:
1000 East Apache Boulevard, Tempe, AZ



THE RETREAT @ 1000 APACHE

TEMPE

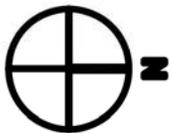
ARIZONA

9AM AUTUMNAL EQUINOX

ATTACHMENT 49

APPLICANT:
Glenwood Intermountain Properties, Inc.
1425 North University Avenue
Provo, UT 84604
CONTACT:
David R. Freeman - (801) 342-4800

PROJECT ADDRESS:
1000 East Apache Boulevard, Tempe, AZ



THE RETREAT @ 1000 APACHE

TEMPE

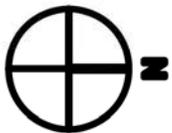
ARIZONA

9AM SUMMER SOLSTICE

ATTACHMENT 56
ATTACHMENT 56

APPLICANT:
Glenwood Intermountain Properties, Inc.
1425 North University Avenue
Provo, UT 84604
CONTACT:
David R. Freeman - (801) 342-4800

PROJECT ADDRESS:
1000 East Apache Boulevard, Tempe, AZ



THE RETREAT @ 1000 APACHE

TEMPE

ARIZONA

9AM WINTER SOLSTICE

ATTACHMENT 51

APPLICANT:
Glenwood Intermountain Properties, Inc.
1425 North University Avenue
Provo, UT 84604
CONTACT:
David R. Freeman - (801) 342-4800

PROJECT ADDRESS:
1000 East Apache Boulevard, Tempe, AZ

MEMORANDUM

GAMMAGE & BURNHAM
A Professional Limited Liability Company

July 9, 2008

TO: Kevin O'Melia, Senior Planner
City of Tempe Development Services Department

RE: Summary of Public Outreach regarding The Retreat @ 1000 Apache Zoning Amendment, Planned Area Development (PAD) Overlay and Development Plan Review (DPR) Application for 1.81 acres of property located approximately 475 feet east of the northeast corner of Rural Road and Apache Boulevard

The project team has made a concentrated effort to reach out to the community. Our public participation efforts span four months. To date, comments received regarding the project and the application have been overwhelmingly supportive. We have and will continue to address any questions and/or comments that may arise throughout the zoning process.

(1) **Apache Boulevard Project Area Committee Meeting of March 10, 2008:**

The applicant met with the Apache Boulevard Project Area Committee (APAC) on March 10, 2008 and showed APAC a design for a seven-story building with retail on the first floor. APAC recommended approval of the project which consisted of a seven-story building with purpose built student housing apartments and retail shops.

(2) **Tempe Apache Boulevard Business Association Meetings of March 12 and May 14, 2008:**

On March 12 and May 14, 2008 respectively, the applicant met with the Tempe Apache Boulevard Business Association (TABBA) and presented the project's original seven-story design and the revised five-story design. TABBA recommended approval for both the original seven-story project and the proposed five-story project.

(3) **Neighborhood Meeting of June 23, 2008:**

Our official neighborhood meeting was held at the Tempe Police Apache Boulevard Substation Community Room located at 1855 East Apache Boulevard in Tempe. The meeting began at approximately 6:00 p.m.

Meeting Attendees

Representatives from Glenwood Student Communities ("Glenwood") and Gammage & Burnham P.L.C were present. Four interested persons and one City of Tempe Development Services Department staff member, Kevin O'Melia, was also in attendance. The interested persons in attendance included Abigail Kruger of Nelson Companies, developer of the adjacent student housing and retail project known as Campus Edge, Ramish Patel and Vikas Patel,

7/1/2008

owners and operators of the adjacent Super 8 Motel, and Rick Kafka, owner of the adjacent apartment complex to the north. Contact information for persons in attendance for the meeting is provided on the enclosed sign-in sheet.

Presentation

David Freeman of Glenwood and Rob Lane of Gammage & Burnham provided a brief overview of the purpose built student housing and retail shops project, as well as the purpose of the application and the neighborhood meeting. Mr. Freeman also provided information regarding Glenwood's background and experience in relation to the development and management of purpose built student housing projects.

Questions Posed by Meeting Attendees & Addressed by the Applicant

Mr. Vikas Patel inquired about the following in regard to the project:

- Types of retail uses being considered for the project;
- Why the proposed building height was five stories less than Campus Edge;
- How many residential units were being proposed;
- How the residential units would be rented out;
- If each unit would have common areas;
- If the residential units could be converted into typical apartments in the future;
- How many retail shops would be located along Apache Boulevard;
- What would occupy the center of the building located at the southeast corner of the site; and,
- When the project is scheduled to open

Mr. Freeman responded to Mr. Patel's respective questions by indicating that:

- Retail uses tailored to students and complementary retail uses for the neighborhood would be provided;
- Glenwood's past experiences in development and managing purpose built student housing has shown students sometimes feel isolated in tall buildings and the cost of construction were both factors in restricting the buildings' height to five stories;
- The project would be comprised of 124 units consisting of one, two and four bedroom units and a total of 317 beds;
- The project would be rented out by the bedroom and that each tenant would sign an individual lease;
- A common living room and kitchen would be provided in each unit, while each bedroom would have its own bathroom. It was also noted that common areas, such as a swimming pool, internet café and technology room would be provided;
- That the units could be converted to more typical apartment units but that the units would be somewhat unusual, as each bedroom would have its own bathroom;
- Five retail shops are proposed along the Apache Boulevard frontage;
- An open courtyard would be located in the center of the building located near the southeast corner of the site; and
- The project is targeted to open in August 2010 with construction starting in December 2008

Mr. Ramish Patel noted that the project's construction was scheduled to begin during the adjacent Super 8 Motel's peak season and inquired if a perimeter wall would be constructed along the site's east property line.

Mr. Freeman responded by noting that the project's construction would begin with the garage located at the northwest corner of the site, area of the site located farthest from the Super 8 Motel, and that it was not the desire of Glenwood to disturb the motel's guests. Mr. Freeman also noted that a perimeter wall would be provided along the east property line of the site.

Mr. Kafka inquired about the status of the project in relation to applicable City processes.

Mr. Lane responded that a zoning change, PAD overlay and DPR application had been submitted to the City for the project site. Mr. Lane also noted that the referenced application is scheduled for consideration by the City's Development Review Commission and City Council, starting with the Development Review Commission on July 29th.

Mr. Kafka then reiterated Vikas Patel's earlier statement by indicating he was surprised the proposed building height was not higher.

Mr. Freeman responded by reiterating his earlier response that Glenwood feels tall buildings can isolate student residents and that there are substantial additional construction costs associated with taller buildings.

Mr. Kafka then inquired about the following in regard to the project:

- Does Glenwood only manage purpose built student housing projects which they have developed;
- Would on-site security be provided;
- Has Glenwood previously developed similar designed projects;
- If any areas of the project would be located below grade; and,
- The project's proposed floor area ratio (FAR)

Mr. Freeman responded to Mr. Patel's respective questions by indicating that:

- Glenwood has only managed projects which it has developed in the past but may be open to additional management opportunities in the future;
- Smart locks would be provided on all secured entrances, the garage would be secured, and that Glenwood is considering offering a substantial discounted rate for a City police officer to reside at the site;
- The proposed project would be the company's first to incorporate retail uses. Mr. Freeman also noted Glenwood's extensive experience with the development and management of purposed built student housing projects;
- One level of the parking garage would be located below grade; and,
- The project's FAR is approximately 2:1, excluding the garage.

Mr. O'Melia inquired how the project's resident only café would operate.

Mr. Freeman responded that the café would serve breakfast and would function in a similar manner to continental breakfast rooms provided at high-quality hotels. Mr. Freeman stressed

that many parents feel it is especially important for students to have an opportunity to eat a good breakfast.

Mr. O'Melia inquired if Glenwood typically rented out purpose built student housing projects by the bedroom.

Mr. Freeman responded that it is typical for Glenwood to rent out its projects by the bedroom.

Questions Not Addressed

All questions raised during the meeting were addressed by either the applicant or City staff.

Comments Submitted by Meeting Attendees

Comments received during the meeting were overwhelming supportive of the project.

Meeting Adjournment

The meeting ended at approximately 7:35 p.m.

(4) Posting & Notification:

Pursuant to applicable City requirements, on June 6, 2008, we sent first class letters to all property owners within 300 feet of the project site notifying interested parties of the proposed development and the neighborhood meeting scheduled for June 23, 2008. Per a June 9, 2008 e-mail request from City staff, we sent first class letter to an additional property owner and the respective chairpersons of two registered neighborhood / home owners associations on June 9th, notifying the identified parties of the proposed development and the neighborhood meeting scheduled for June 23, 2008. On June 27, 2008, we sent first class letters to all notification recipients referenced above to advise of the rescheduling of the Development Review Commission Hearing from July 8, 2008 to July 29, 2008, the 1st City Council Hearing from July 22, 2008 to August 14, 2008, and the 2nd City Council Hearing from August 7, 2008 to September 11, 2008.

The respective dates, locations, and times for the neighborhood meeting and scheduled public hearings, as well as the applicant's contact information, were posted on the subject site on June 9, 2008. The posted sign was updated on June 30, 2008 to reflect the above referenced rescheduling of the Development Review Commission Hearing and the 1st and 2nd City Council Hearings.

Copies of the notification list and the neighborhood mailing notices, as well as photos of the public hearing notice sign posted on the site, are attached to this neighborhood summary.

(5) Phone Calls, Letters and E-mails:

To date, neither the applicant nor the applicant's legal representative have received any phone calls, faxes, letters or e-mails from any member of the community regarding this project.

**Agenda Item 5 – Development Update – The Retreat @ 1000 (East) Apache (Blvd.)
presented by David Freeman of Glenwood Intermountain Properties, Inc.**

(Handout on project was dispersed)

- In business for the last 20 years – “rent by the bed”
- High-end student housing complex – the current student housing project is mainly poor – built before 1985.
- Lifestyles have changed substantially.
- 60% of students have 90% of their college expenses paid for (CA stats)
- “step above” the Campus Edge product – including breakfast services.
- Shared common area – living room & kitchen + 1-4 bedrooms with baths
- Study facility
- Committed to compliment development on Apache.
- Rental rate approx. \$750-\$1200 /per person

Q&A/Comments – **Security is not mentioned** – *the site plan submittal is not designed to show security measures. The site will be well-lit, the stairwell will have glazing so people can see, smart-keys will only open the assigned rooms.*

Why is there is a discrepancy in the numbers on the number of rooms 107 and 180?
– *180 is only the max, the site plan is still being reviewed.*

Motion made to accept the project – passed – 1 abstention

The Committee’s next meeting will be Monday, April 14th, 2008 at the Escalante Community Center – Senior Center Room.

The following meeting is scheduled for Monday, May 12th, 2008 at the Escalante Community Center – Brio/Bravo Rooms.

Meeting Adjourned at 5:37 p.m.

Prepared by Mike Anaya

Authorized Signature
Heidi Graham, Senior Planner

Tempe Apache Boulevard Association (TABA)
Meeting Minutes
May 14, 2008

Location: Apache Boulevard Police Substation, Community Room
1825-1855 East Apache Boulevard

Lunch: 11:30 a.m. - 12:00 p.m.

Meeting: 12:00 p.m. - 1:00 p.m.

Following lunch Gary Flunoy from Metro made a Safety Education presentation . In anticipation of the Grand Opening of Metro Light Rail on December 26, 2008 presentations such as this will be offered throughout the community to associations and groups such as ours. Terry Nash and Pamela Cecere from Metro were also present to assist in the presentation by distributing various printed materials. Pamela Cecere also discussed proposed Metro Light Rail extensions on the Rural Road corridor in Tempe.

David Freeman, President of Glenwood Student Communities made a follow-up presentation on the project known as The Retreat at 1000 Apache. Preliminary City of Tempe reviews have resulted in some changes such as a redesign of the parking structure so as not to be visible from the street and the architectural design will be more in line with other new projects in the area. Having completed preliminary site plans, etc. they are proceeding on schedule with the City of Tempe. The project was discussed and supported by those present. At our March 12, 2008 meeting the project was given a general approval for a student housing project.

Eva Zukatynski proposed that new residential developments permitting pets include in their guidelines that pets be spayed and neutered. In the most recent Spay and Neuter Program on Apache Boulevard 63 strays were spayed which is expected to reduce the feral cat population in the area.

Treasurer, Sam Hanna, reported a balance of \$2,534.21 in the account at Wells Fargo Bank. Expenses are predominately luncheon food while income is membership dues. Sam suggested we anticipate "special event" expenses such as an Open House after the official Light Rail opening. Eva Zukatynski suggested a " We survived the Light Rail" party be placed on the next agenda and everyone is encouraged to bring ideas. A committee was formed and Sam Hanna will be chairman and Eva will help. Carol Mc Daniels mentioned that a few of the businesses at Apache and McClintock had an "Open House" April 1 and that Metro did all the printed promotions. The next business meeting is September 17, 2008.

Barbara Stafford read the minutes from the March 12, 2008 meeting prepared by Diane Minkner and they were approved as read.

Bob Stafford offered updates on current area projects. Campus Edge at 922 E. Apache Blvd. is breaking ground with a 10-story building. Campus Suites at 1890 E. Apache is

currently working on the infrastructure. Apache ASL, a project for the hearing impaired at 2428 E. Apache, is close to approval with the City and should be breaking ground soon. At the May 12, 2008 APAC meeting Portland Development reviewed a proposal for a 5-story Holiday Inn Express on the current site of the Days Inn Motel at 1221 E. Apache.

President Carol McDaniels adjourned the meeting at 1:12 p.m.

Respectfully Submitted,
Barbara Stafford, Substitute Secretary

O'Melia, Kevin

From: Levesque, Ryan
Sent: Tuesday, May 27, 2008 4:42 PM
To: O'Melia, Kevin
Subject: FW: 1000 E. Apache

FYI

Ryan Levesque

Senior Planner
City of Tempe, Development Services Dept.
(480) 858-2393

From: Tim Becker [mailto:tbecker@nelsonphoenix.com]
Sent: Tuesday, May 27, 2008 2:09 PM
To: Levesque, Ryan
Cc: Marc Lifshin; J.J. Smith
Subject: 1000 E. Apache

Ryan – we don't have any comments on the proposed PAD at 1000 E. Apache. Thanks for sharing with us.

From: O'Melia, Kevin
Sent: Tuesday, June 24, 2008 9:39 AM
To: Sever, Decima
Subject: THE RETREAT / 1000 E APACHE / PL080071

KKO e-mail to Decima Sever
Greetings,

Notes of last night's (6/23/08) neighborhood meeting.

06-23-08 NEIGHBORHOOD MEETING

Neighbor attendees: Rameesh & Vikas Patel (Super 8 Motel-1020 E Apache), Abigail Kruger (Nelson-Phoenix-922 E Apache), Rick Kafka (University Properties-1001 E Lemon).
Development team: David Freeman (Glenwood Properties), Rob Lane (Gammage & Burnham)
COT Staff: Kevin O'Melia (Plann'g)

Overview: the neighboring property owners heard about the proposed project and asked questions related to the impact of the project on their properties.

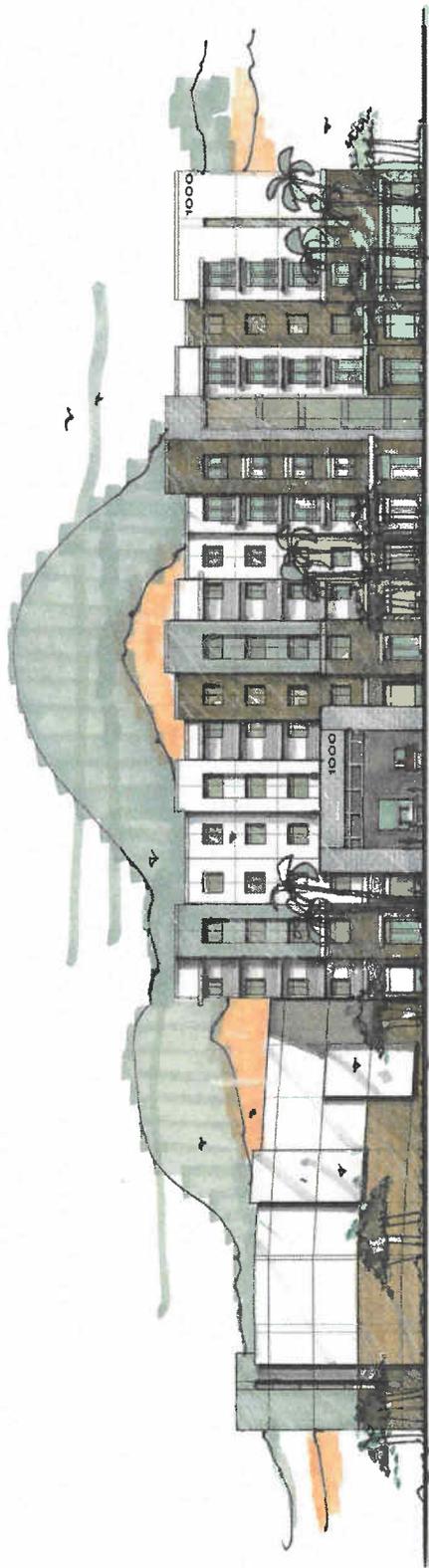
- 1) Rob Lane made introductory presentation. The Retreat is a student housing mixed use project. Five story residential height. Five story garage including one story underground. Retail/restaurant component activates street frontage & accommodates foot traffic. Rob described the planning entitlement process, including a request from CSS to MU-4 District with a Planned Area Development Overlay. Kevin added that the project requests to opt into the Transportation Overlay District. The T.O.D. allows some modification of the parking standard from that allowed in the surrounding city but mandates a pedestrian oriented design.
 - 2) Rameesh/Rob: discuss contrast in height between Retreat and Campus Edge (proposed at 922 E Apache, to west of the Retreat. Campus Edge has 10 stories.
 - 3) Rick/David: why not higher? how many units? David: this is a purpose-built housing/mixed use project--five stories seemed most appropriate. There are 124 student housing units (one, two & four bedroom). There is a total of 317 bedrooms.
 - 4) Rameesh/David: is perimeter fenced? Yes, all around.
 - 5) Rick/David: is there adaptability where the housing could convert to apartments? These could be regular apartments but each bedroom would have its own bathroom.
 - 6) David described operation: Glenwood has been in the property management and specifically in student housing for 20 years. The Retreat represents a recent national trend in student housing. This is the first of this kind undertaken by Glenwood. This student housing project is rent by the bedroom, rather than by the unit (Campus Edge rents by the unit). There is one student per bedroom. Each student has their own lease. With this approach, management can then prevent unit overcrowding. Glenwood manages the properties that they build. Glenwood is management intensive. The students will have access to a concierge that is part of the Retreat staff. This is not a substitute parent but a student support network.
 - 7) David: Each bedroom has its own bathroom and workstation. In the two and four bedroom units, each bedroom has separate security access from the common areas. The larger project includes amenities (lounge, workout) and a resident only cafe that serves breakfast between 6:00am & 9:00am, similar in concept to a Marriott Courtyard hotel.
 - 8) David: There will be three to five retail/restaurant uses. Glenwood will select tenants to accommodate the student environment, such as a sandwich shop.
 - 9) David: the businesses will face Apache. The street business facades will set back slightly to create areas for outdoor seating. Retail parking is located off the entrance drive aisle, on the street at the storefronts, and in the front of the garage. The retail parking spaces will be open for student use in the off-hours.
 - 10) David: the first story is masonry construction, the upper stories are frame and exterior plaster construction. The garage is pre-cast concrete construction. The appearance of the project is under development.
- *



KIN FABRICKS



WEST ELEVATION - ALONG PROPERTY LINE



SOUTH ELEVATION - ALONG APACHE

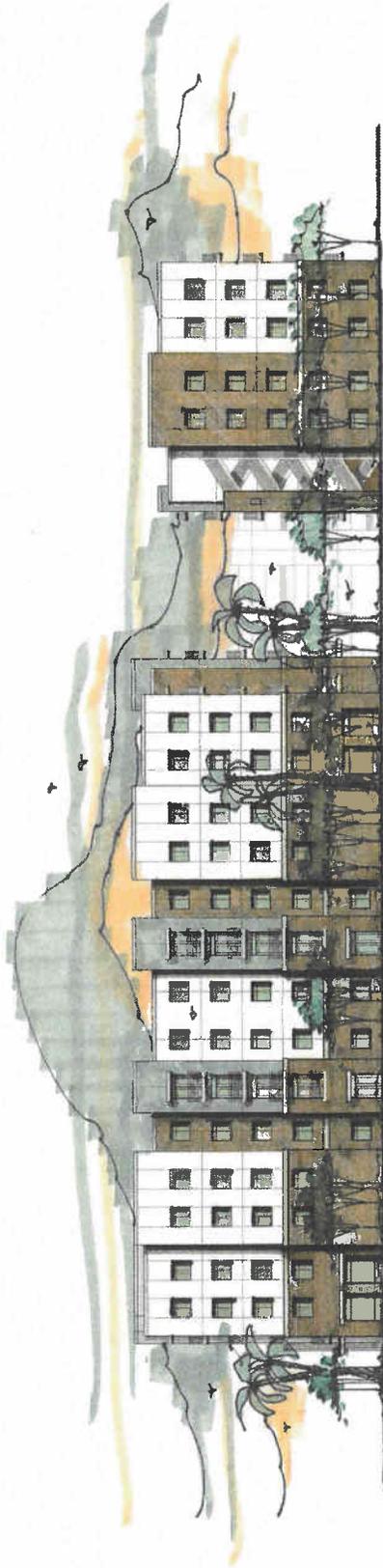
THE RETREAT @ 1000 APACHE

GLENWOOD
INTERMOUNTAIN
PROPERTIES, INC.





NORTH ELEVATION - POOL AREA



EAST ELEVATION - ALONG PROPERTY LINE

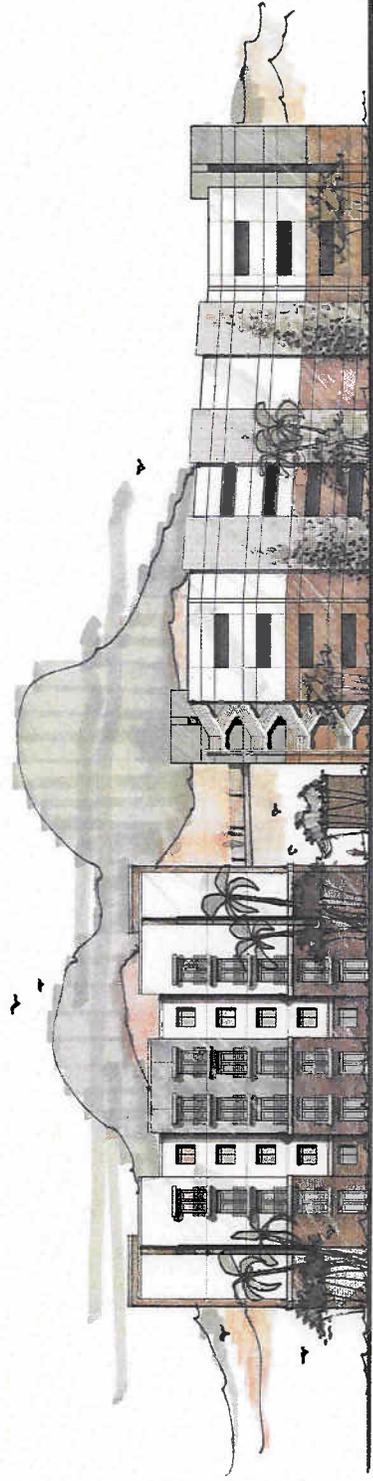
THE RETREAT @ 1000 APACHE

GLENWOOD
INTERMOUNTAIN
PROPERTIES, INC.





SOUTH ELEVATION - POOL AREA



NORTH ELEVATION - ALONG PROPERTY LINE

THE RETREAT @ 1000 APACHE

BLENNWOOD
INTERMOUNTAIN
PROPERTIES, INC.





NORTH ELEVATION - AT DRIVE-THRU

EAST ELEVATION - ALONG DRIVEWAY

THE RETREAT @ 1000 APACHE

GLENWOOD
INTERMOUNTAIN
PROPERTIES, INC.

