

TEMPE JOINT REVIEW COMMITTEE

ASU/ACC South Campus Residential Community - Phase II

The new South Campus Residential Community development represents the next step by Arizona State University towards offering its students an appropriate mix and quantity of affordable, contemporary, on-campus residential lifestyle options. This multi-story, urban, mixed-use residential and retail project is being developed to draw approximately 362 upper-class level students out of the surrounding neighborhood residential communities and back into the university's living/learning campus environment.

The SCRC-II project will conform to the required development standards and criteria as described below:

1. The second phase of the new South Campus Residential Community (SCRC-II) will create a uniquely urban lifestyle experience within the on-campus residential community. The tall building forms reinforce the street wall with setbacks similar to adjacent structures while offering variety with the introduction of a large public plaza opening that frames views from Apache Boulevard deep into the SCRC complex.

The project consists of two seven story student residential towers set atop double-story height ground floor retail amenities. These structures embrace and protect a naturally shaded student activity plaza through which all pedestrian and bicycle traffic traveling between the adjacent student communities and the main campus will transit. The commercial retail amenities will include 10-12 establishments totaling 25,000 to 30,000 square feet and serves an essential role in activating the community and fostering a healthy student living environment. The student plaza will be dynamically landscaped as both a corridor for pedestrian traffic as well as a gathering area.

- a. Project features incorporating shade for energy conservation and comfort include orientation of building surfaces, tensile fabric awnings, and use of appropriate hard/landscaping materials.
- b. Construction materials will be masonry, metal and concrete of a quality and complementary nature as that incorporated into the surrounding structures.
- c. The building and landscape shall match the scale and height of the new Hassayampa Academic Community located immediately to the North across Apache Boulevard.
- d. The building masses are divided vertically and horizontally to create a human scale when viewed from the adjacent right of way and from within the student activity plaza.

- e. The ground floor retail forms the buildings base supporting the residential occupancies above. The top of the building is clearly defined with the introduction of a large projecting cornice feature.
- f. The buildings' facades incorporate extensive use of architectural window elements at the ground floor retail to create visual interest and enhance security. Ground floor residential units located in Building 2 also benefit from large living room windows that both increases the introduction of natural light and outward surveillance of the adjacent exterior spaces.
- g. The configurations and material selections for all doors, windows, entry/exit portals and walkways are designed to enhance the appearance of the adjacent public spaces.
- h. All on-site utilities are placed underground.
- i. All sidewalks, connecting walkways and building entrances are clear and well lighted.
- j. The project will conform to all ADA accessibility requirements.
- k. The project supports pleasant and convenient access to multi-modal transportation options. As shown in the south campus development plan, the south campus residential community unites student pedestrian and bicycle traffic through the site and into a student activity plaza faced with ground floor retail. Public transit and campus shuttle stops are located adjacent to the project.
- l. Vehicular circulation and retail parking (86 spaces) are located along the site's East perimeter to minimize travel distances and conflicts with pedestrian/bicycle traffic. (Final configuration will comply with all City of Tempe transportation/parking requirements and negotiated agreement(s) with the affected neighborhood groups.)
- m. Site development plans separate pedestrian and bicycle circulation paths from vehicular traffic.
- n. Site development plans incorporate Crime Prevention Through Environmental Design or "CPTED principles.
- o. Landscaping plan separate all major parking, building, driveway and pedestrian walkways using accent elements and/or hardscape features.
- p. Exterior site lighting will be compatible with the proposed project occupancies and not create negative effects for adjoining open spaces.

-
2. All exterior signs will comply with applicable City of Tempe/ ASU requirements for exterior signage.

**ASU South Campus Residential Community
Legal Description**

A parcel of land situated in a portion of the Southeast Quarter of Section 22, Township 1 North, Range 4 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, being more particularly described as follows:

COMMENCING at the East Quarter corner of said Section 22 monumented by a Brass Cap in Handhole bearing North 00 degrees 04 minutes 37 seconds West, a distance of 2641.12 feet from the Southeast corner of said Section 22 monumented by a Brass Cap in Handhole;

THENCE South 89 degrees 27 minutes 25 seconds West along the North line of said Southeast Quarter, a distance of 1289.44 feet;

THENCE South 00 degrees 32 minutes 35 seconds West, a distance of 50.00 feet to the POINT OF BEGINNING;

THENCE North 89 degrees 27 minutes 25 seconds East along a line 50.00 feet South of and parallel to the North line of the Southeast Quarter, a distance of 629.02 feet to a point on the East line of the West half of the Northeast Quarter of the Southeast Quarter of said Section 22;

THENCE South 00 degrees 06 minutes 58 seconds East, along said East line, a distance of 1165.49 feet;

THENCE departing said East line South 89 degrees 50 minutes 41 seconds West, a distance of 195.96 feet;

THENCE South 00 degrees 09 minutes 19 seconds East, a distance of 106.16 feet to a point on the South line of the West half of the Northeast Quarter of the Southeast Quarter of said Section 22;

THENCE South 89 degrees 28 minutes 18 seconds West, along said South line, a distance of 463.26 feet to a point on the West line of the West half of the Northeast Quarter of the Southeast Quarter of said Section 22;

THENCE North 00 degrees 09 minutes 19 seconds West, along said West line, a distance of 186.95 feet;

THENCE North 89 degrees 50 minutes 41 seconds East, a distance of 38.00 feet;

THENCE North 00 degrees 09 minutes 19 seconds West, along a line 38.00 feet East and parallel to the West line of the West half of the Northeast Quarter of the Southeast Quarter of said Section 22, a distance of 656.18 feet to the beginning of a curve concave westerly with a radius of 408.79 feet;

THENCE Northerly 96.18 feet along said curve through a central angle of 13 degrees 28 minutes 51 seconds;

THENCE North 13 degrees 38 minutes 11 seconds West, a distance of 25.98 feet to the beginning of a curve concave easterly with a radius of 487.57 feet;

THENCE Northerly 115.88 feet along said curve through a central angle of 13 degrees 37 minutes 02 seconds;

THENCE North 00 degrees 01 minutes 09 seconds West, a distance of 75.69 feet;

THENCE North 23 degrees 58 minutes 08 seconds East, a distance of 8.53 feet;

THENCE North 89 degrees 50 minutes 26 seconds East, a distance of 8.50 feet;

THENCE North 00 degrees 09 minutes 34 seconds West, a distance of 38.00 feet;

THENCE South 89 degrees 50 minutes 26 seconds West, a distance of 12.23 feet;

THENCE North 00 degrees 21 minutes 39 seconds West, a distance of 46.28 feet;

THENCE North 44 degrees 39 minutes 03 seconds East, a distance of 34.04 feet to the POINT OF BEGINNING.



Apache Blvd.

Project
Location

Rural Rd.

McAllister Ave.

Southern Pacific Rail-Road



DWY, ARCHITECTS & ENGINEERS, PC
 1000 EAST WASHINGTON AVENUE, SUITE 1100
 PHOENIX, ARIZONA 85001
 TEL: 602.254.1100 FAX: 602.254.1101

ARIZONA STATE UNIVERSITY
 SOUTH CAMPUS RESIDENTIAL
 COMMUNITY / PHASE-2
 APACHE BOULEVARD and McALLISTER AVENUE
 TEMPE ARIZONA



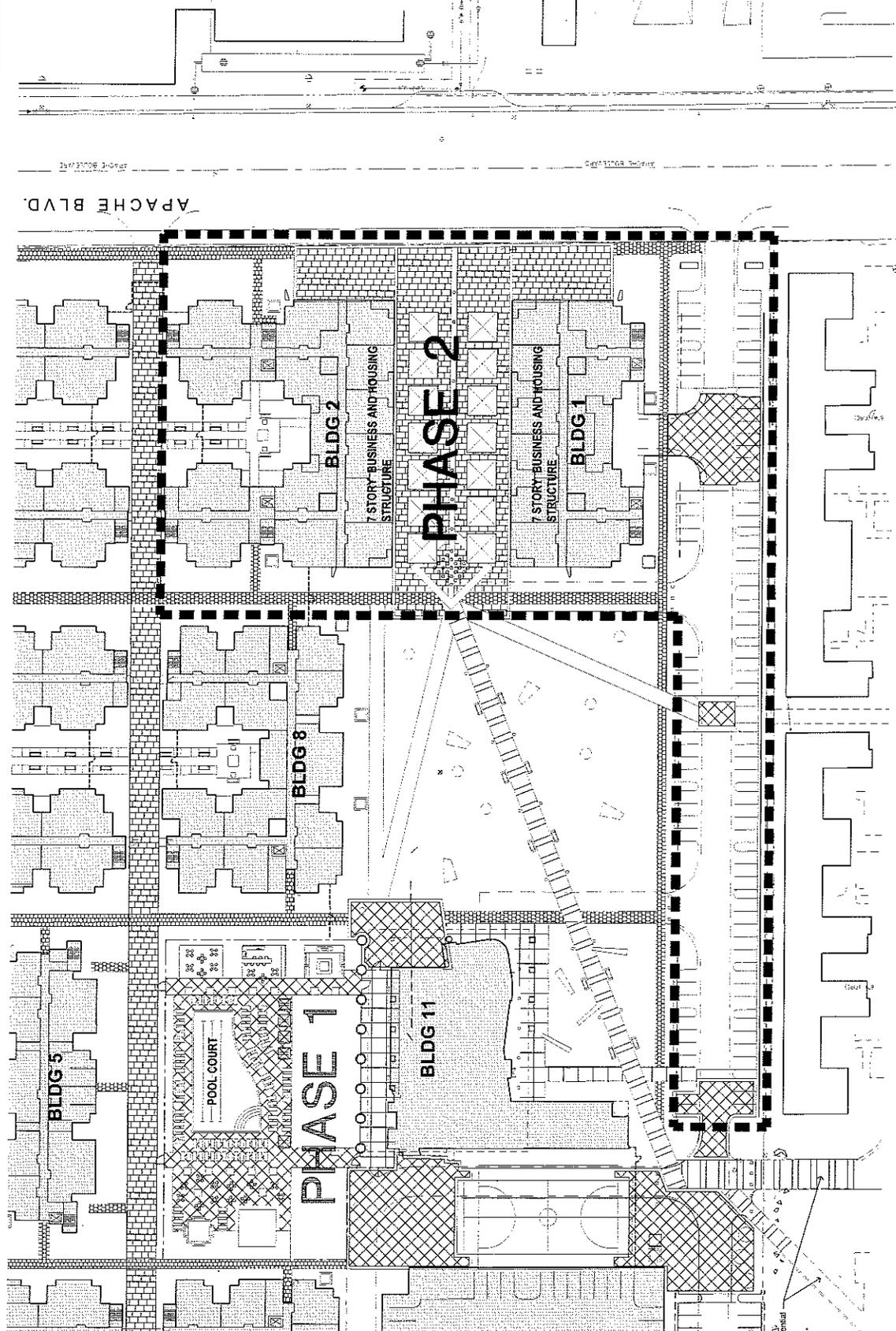
JRC SUBMITTAL
 PRELIMINARY
 NOT FOR
 CONSTRUCTION

DATE: 01/27/08

ARCHITECTURAL
 SITE PLAN

A101

DATE: 01/27/08
 DRAWN BY: [unintelligible]
 CHECKED BY: [unintelligible]
 PROJECT NUMBER: 0802106



RETAIL (sf)	10,600 sf
	10,780 sf
	21,380 sf

No. of UNITS	57 Units
	73 Units
TOTALS	130 Units

BUILDING #1	
BUILDING #2	
TOTALS	

ARCHITECTURAL SITE PLAN
 1" = 30'-0"
 0 15 30 45 60 90





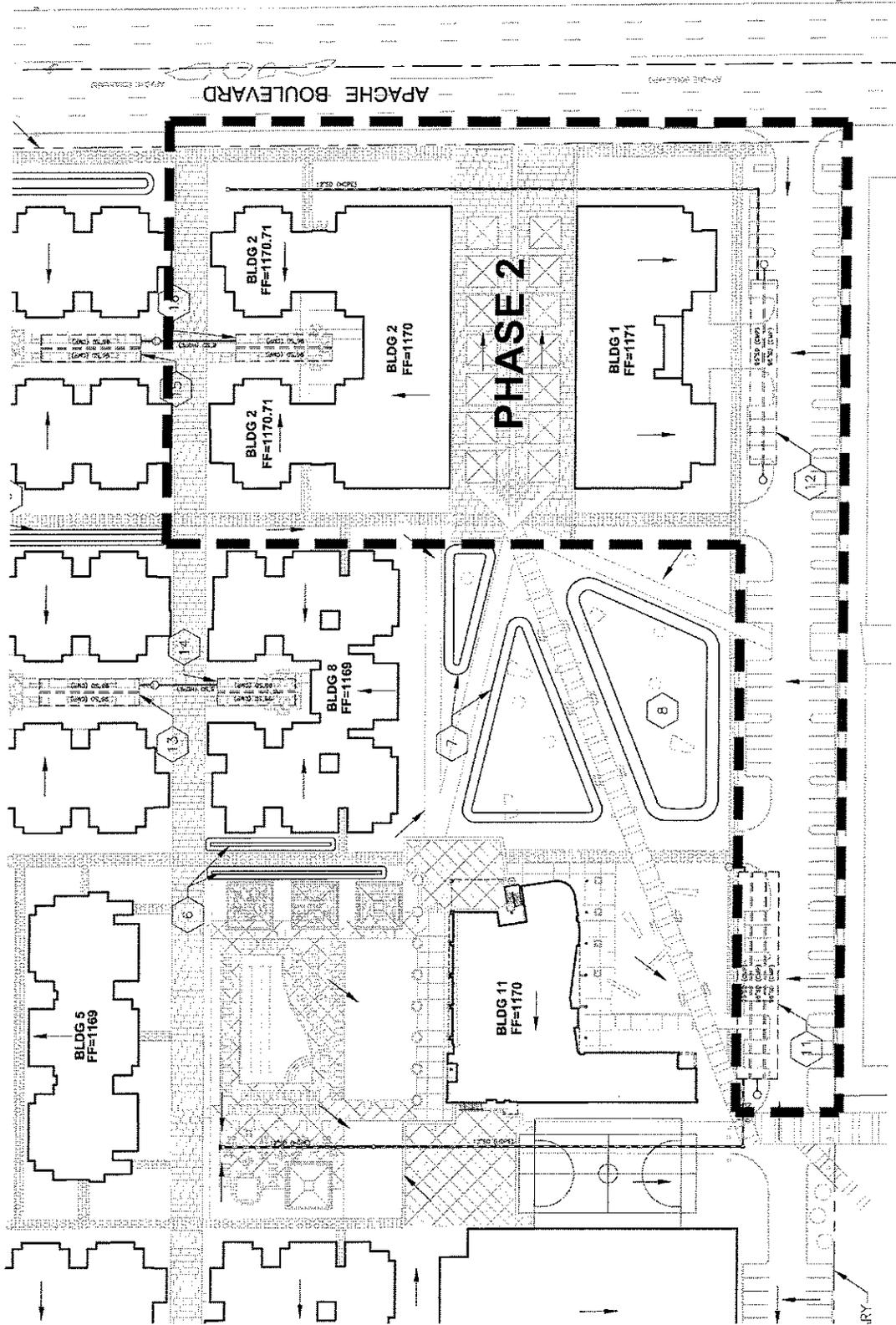
DWL ASSOCIATES
 CONSULTING ENGINEERS
 1000 N. CENTRAL AVENUE
 SUITE 200
 PHOENIX, AZ 85004
 (602) 258-1100

ASU
 ARIZONA STATE UNIVERSITY
 SOUTH CAMPUS RESIDENTIAL
 COMMUNITY / PHASE-2
 APACHE BOULEVARD and McALLISTER AVENUE
 TEMPE, ARIZONA

JRC SUBMITTAL
 PRELIMINARY
 NOT FOR
 CONSTRUCTION

DATE: 08/20/2014
 DRAWN BY: JRM/RSU
 CHECKED BY: JRM/RSU
 PROJECT NO: 14000000000000000000

PRELIMINARY
 GRADING &
 DRAINAGE PLAN
 C0.1

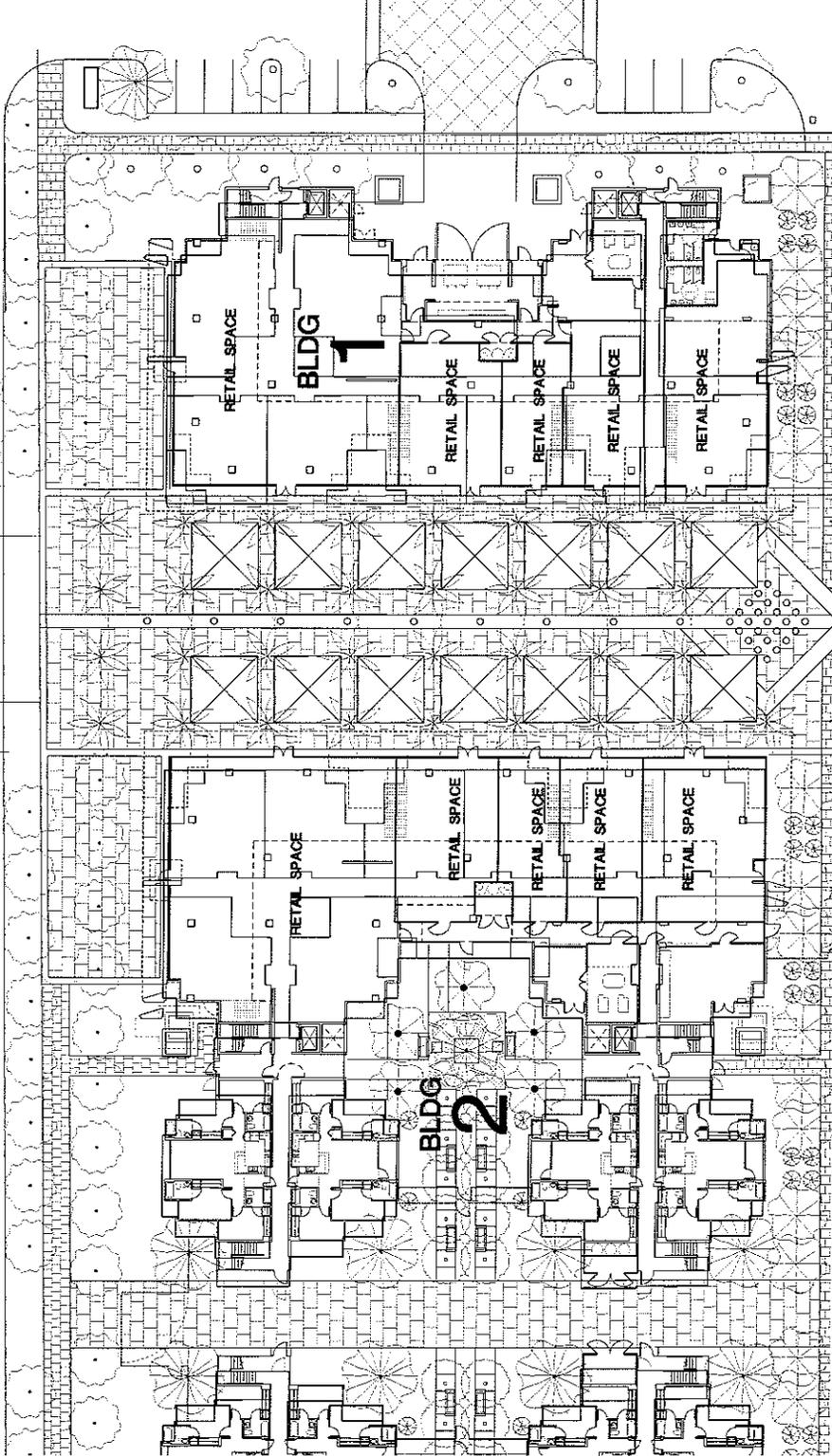


NOTE: TOTAL RETENTION VOLUME REQUIRED:
 100% (1.0% ROOF AREA)
 11,163.71 CF
 TOTAL RETENTION VOLUME PROVIDED:
 11,163.71 CF

KEYED NOTES

1	RETENTION BASIN V= 10,260 CF	9	UNDERGROUND RETENTION V= 43,279 CF	13	UNDERGROUND RETENTION V= 6,434 CF
2	RETENTION BASIN V= 842 CF	10	UNDERGROUND RETENTION V= 21,315 CF	14	UNDERGROUND RETENTION V= 5,027 CF
3	RETENTION BASIN V= 161 CF	11	UNDERGROUND RETENTION V= 19,060 CF	15	UNDERGROUND RETENTION V= 6,434 CF
4	RETENTION BASIN V= 2,745 CF	12	UNDERGROUND RETENTION V= 11,864 CF	16	UNDERGROUND RETENTION V= 6,434 CF
5	RETENTION BASIN V= 1,277 CF				
6	RETENTION BASIN V= 743 CF				
7	RETENTION BASIN V= 7,275 CF				
8	RETENTION BASIN V= 5,298 CF				

APACHE BOULEVARD



BLDG 1 & 2 - FIRST FLOOR PLANS
1/16" = 1'-0"
0 8 16 24 32 40



ARIZONA STATE UNIVERSITY
SOUTH CAMPUS RESIDENTIAL
COMMUNITY / PHASE-2
APACHE BOULEVARD and McALLISTER AVENUE
TEMPE ARIZONA



JRC SUBMITTAL
PRELIMINARY
NOT FOR
CONSTRUCTION

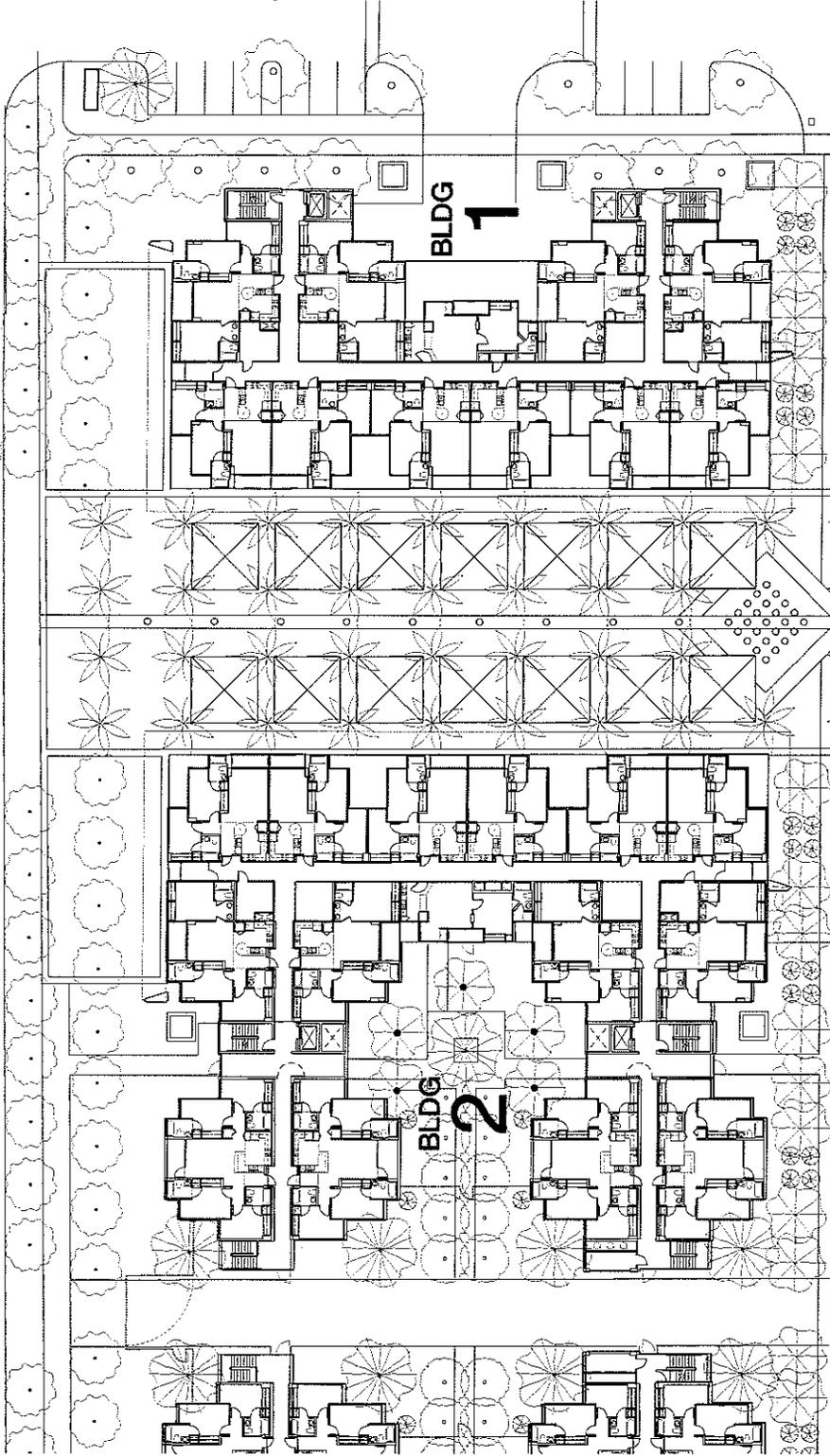
P.L.C.

DATE: 07/22/09
DRAWN BY: J.L.W.
CHECKED BY: J.L.W.
SCALE: 1/16" = 1'-0"

PROJECT NUMBER: A211

DATE: 07/22/09	SCALE: 1/16" = 1'-0"
DRAWN BY: J.L.W.	CHECKED BY: J.L.W.
PROJECT NUMBER: A211	DATE: 07/22/09

APACHE BOULEVARD



BLDG 1 & 2 - THIRD FLOOR PLANS
1/16" = 1'-0" 0 8 16 24 32 40



ARIZONA STATE UNIVERSITY
SOUTH CAMPUS RESIDENTIAL
COMMUNITY / PHASE-2
APACHE BOULEVARD and McALLISTER AVENUE
TEMPE ARIZONA



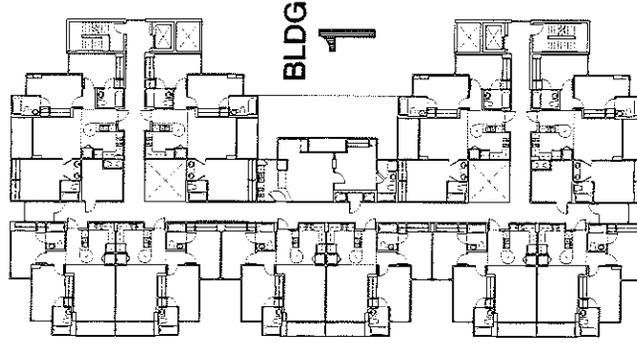
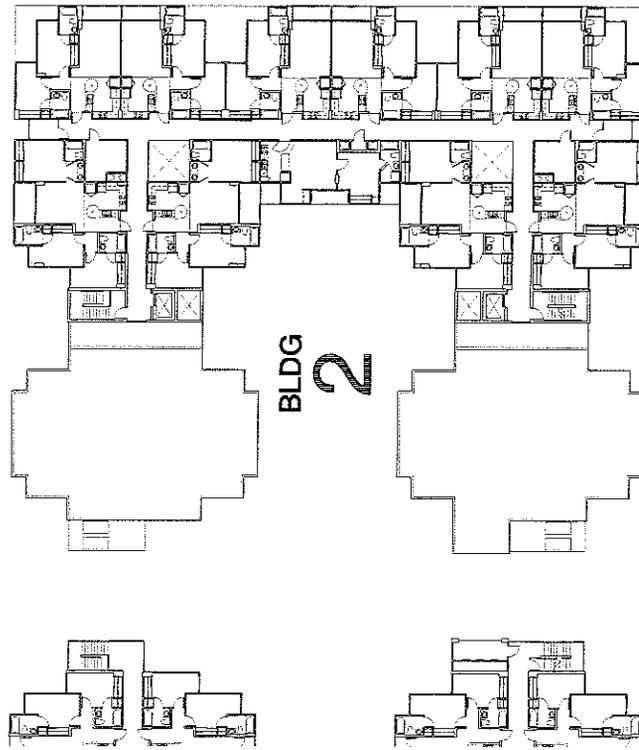
JRC SUBMITTAL
PRELIMINARY
NOT FOR
CONSTRUCTION

DATE: 05/27/06
DRAWN BY: J. W. WILSON
CHECKED BY: J. W. WILSON
SCALE: 1/16" = 1'-0"

A214

BLDG 1 & 2
THIRD FLOOR
PLANS

APACHE BOULEVARD



BLDGS 1 & 2 - FOURTH THRU SEVENTH FLOOR PLANS

1/16" = 1'-0" 0 8 16 24 32 40



ARIZONA STATE UNIVERSITY
SOUTH CAMPUS RESIDENTIAL
COMMUNITY / PHASE-2
APACHE BOULEVARD and McALLISTER AVENUE
TEMPE ARIZONA



JRC SUBMITTAL
PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT: BLDINGS 1 & 2
FOURTH THRU
SEVENTH FLOOR
PLANS

DATE: 04/17/08
DRAWN BY: MRF0
CHECKED BY: MRF0
PROJECT NO: 08022001

A217



DWL ARCHITECTS
 1331 North Central Avenue
 Suite 1000
 Phoenix, AZ 85004
 Tel: 602.254.1331 Fax: 602.254.1332

ARIZONA STATE UNIVERSITY
 SOUTH CAMPUS RESIDENTIAL
 COMMUNITY / PHASE-2
 APACHE BOULEVARD and McALLISTER AVENUE
 TEMPE ARIZONA



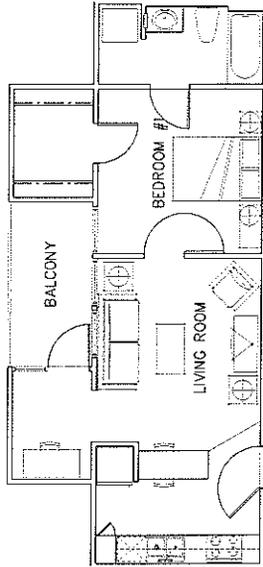
JRC SUBMITTAL
 PRELIMINARY
 NOT FOR
 CONSTRUCTION

DATE: 03/22/06

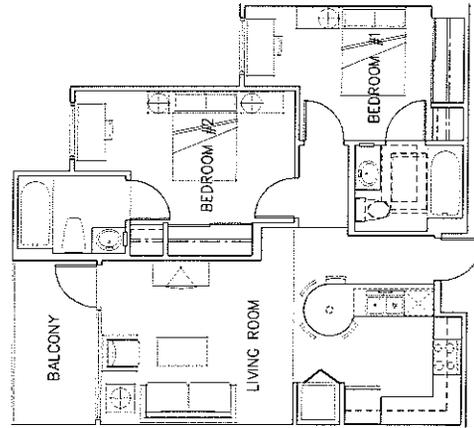
PROJECT TITLE:
 TYPICAL UNITS
 ENLARGED PLANS

A251

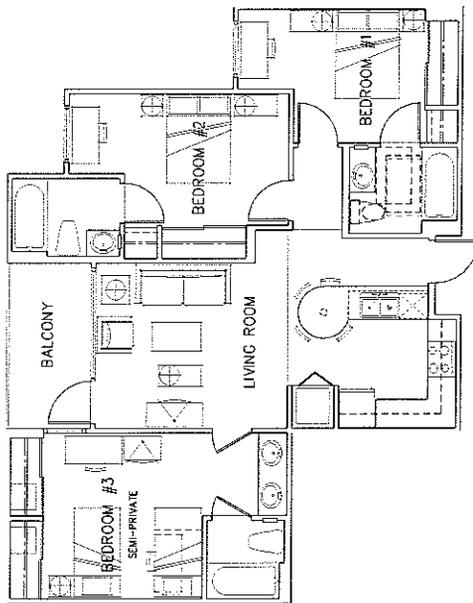
DATE: 03/22/06	PROJECT NO: A251
DATE: 03/22/06	PROJECT NO: A251



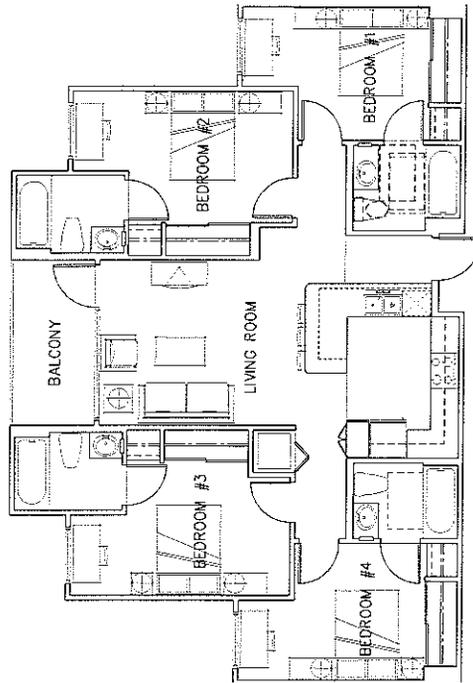
ONE BEDROOM - UNIT 'A'
 1/4" = 1'-0"



TWO BEDROOM - UNIT 'B'
 1/4" = 1'-0"



3 BEDROOM - UNIT 'C'
 1/4" = 1'-0"



FOUR BEDROOM - UNIT 'D'
 1/4" = 1'-0"



DWL ARCHITECTS
 DWL Architects & Engineers, Inc.
 1000 North Central Avenue, Suite 1000
 Phoenix, Arizona 85004-1000
 Tel: 602.254.1100 Fax: 602.254.1105

ikon.5
 architects

ARIZONA STATE UNIVERSITY
 SOUTH CAMPUS RESIDENTIAL
 COMMUNITY / PHASE-2
 APACHE BOULEVARD and McALLISTER AVENUE
 TEMPE ARIZONA



JRC SUBMITTAL

PRELIMINARY
 NOT FOR
 CONSTRUCTION

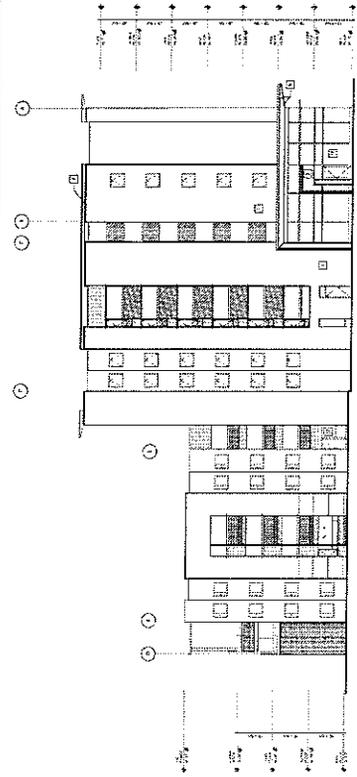
DATE: 05/22/2011

PROJECT NAME
 ELEVATIONS
 BUILDING-2

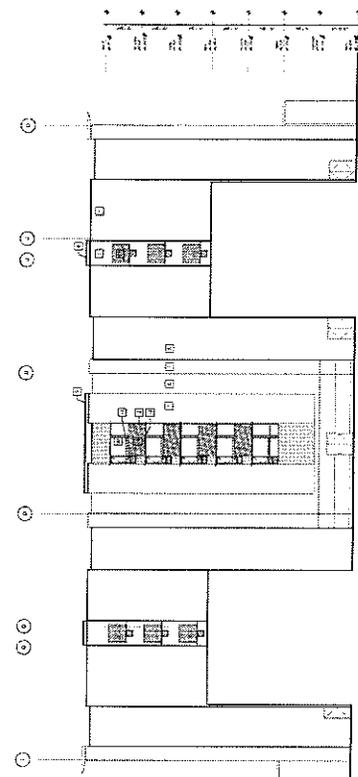
A302

DATE: 05/22/2011
 DRAWN BY: [blank]
 CHECKED BY: [blank]
 PROJECT NUMBER: 0922.01

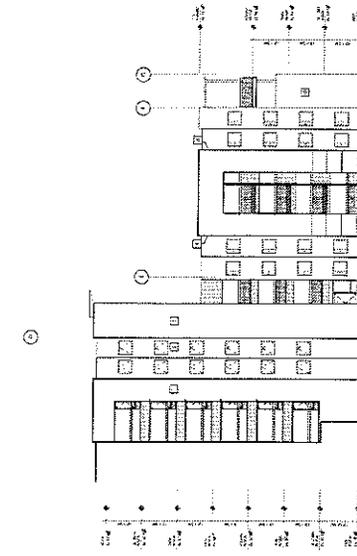
REVISIONS	
1	ISSUED FOR PERMIT
2	ISSUED FOR PERMIT
3	ISSUED FOR PERMIT
4	ISSUED FOR PERMIT
5	ISSUED FOR PERMIT
6	ISSUED FOR PERMIT
7	ISSUED FOR PERMIT
8	ISSUED FOR PERMIT
9	ISSUED FOR PERMIT
10	ISSUED FOR PERMIT
11	ISSUED FOR PERMIT
12	ISSUED FOR PERMIT
13	ISSUED FOR PERMIT
14	ISSUED FOR PERMIT
15	ISSUED FOR PERMIT
16	ISSUED FOR PERMIT
17	ISSUED FOR PERMIT
18	ISSUED FOR PERMIT
19	ISSUED FOR PERMIT
20	ISSUED FOR PERMIT
21	ISSUED FOR PERMIT
22	ISSUED FOR PERMIT
23	ISSUED FOR PERMIT
24	ISSUED FOR PERMIT
25	ISSUED FOR PERMIT
26	ISSUED FOR PERMIT
27	ISSUED FOR PERMIT
28	ISSUED FOR PERMIT
29	ISSUED FOR PERMIT
30	ISSUED FOR PERMIT
31	ISSUED FOR PERMIT
32	ISSUED FOR PERMIT
33	ISSUED FOR PERMIT
34	ISSUED FOR PERMIT
35	ISSUED FOR PERMIT
36	ISSUED FOR PERMIT
37	ISSUED FOR PERMIT
38	ISSUED FOR PERMIT
39	ISSUED FOR PERMIT
40	ISSUED FOR PERMIT
41	ISSUED FOR PERMIT
42	ISSUED FOR PERMIT
43	ISSUED FOR PERMIT
44	ISSUED FOR PERMIT
45	ISSUED FOR PERMIT
46	ISSUED FOR PERMIT
47	ISSUED FOR PERMIT
48	ISSUED FOR PERMIT
49	ISSUED FOR PERMIT
50	ISSUED FOR PERMIT



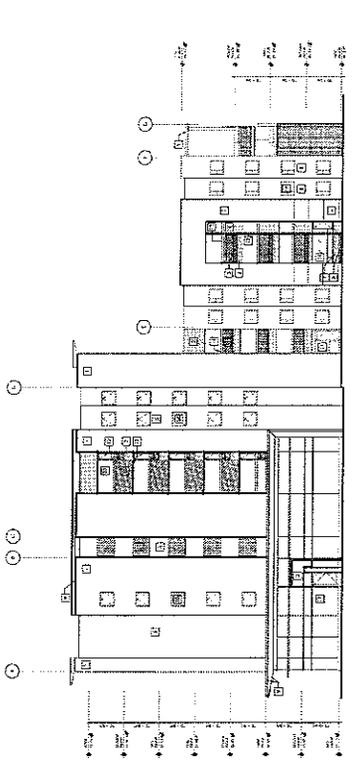
2 SOUTH ELEVATION
 1/16" = 1'-0"



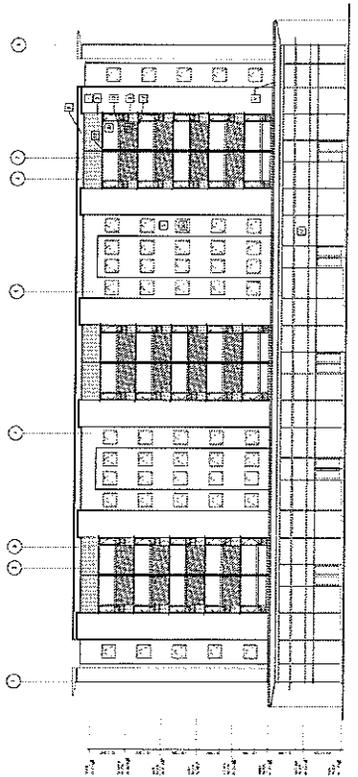
4 WEST ELEVATION
 1/16" = 1'-0"



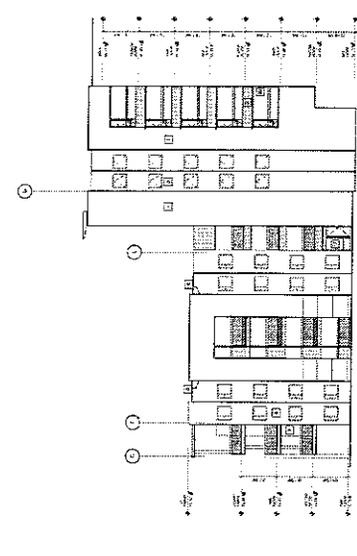
4 COURT NORTH ELEVATION
 1/16" = 1'-0"



1 NORTH ELEVATION
 1/16" = 1'-0"



3 EAST ELEVATION
 1/16" = 1'-0"



5 COURT SOUTH ELEVATION
 1/16" = 1'-0"



DWL ARCHITECTS
 DWL Architects & Planners, Inc.
 1000 North Central Expressway, Suite 1000
 Phoenix, Arizona 85004
 Tel: 602.247.8775 Fax: 602.247.1002

ikon.5
 architects

ARIZONA STATE UNIVERSITY
 SOUTH CAMPUS RESIDENTIAL
 COMMUNITY / PHASE-2
 APACHE BOULEVARD and McALLISTER AVENUE
 TEMPE, ARIZONA



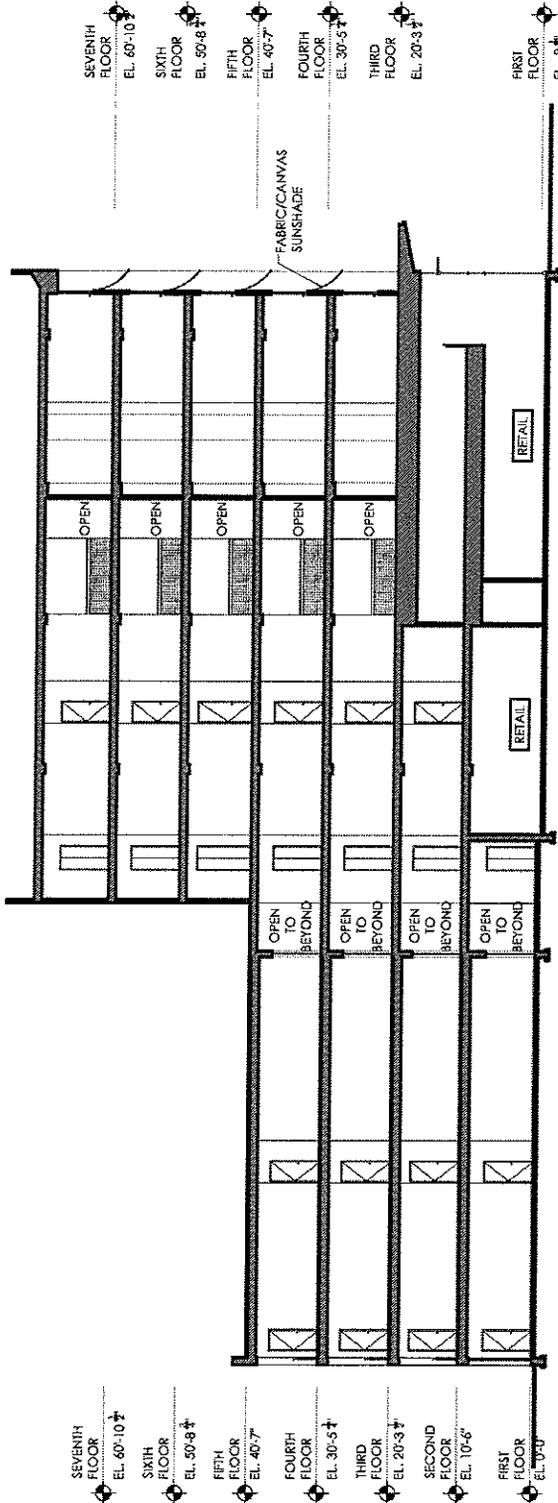
JRC SUBMITTAL

PRELIMINARY
 NOT FOR
 CONSTRUCTION

DATE: 06/18/06
 PROJECT NUMBER: 0522.01

SECTION
 HOUSINGS

A307



SEVENTH FLOOR EL. 60'-10"
 SIXTH FLOOR EL. 50'-8"
 FIFTH FLOOR EL. 40'-7"
 FOURTH FLOOR EL. 30'-3"
 THIRD FLOOR EL. 20'-3"
 SECOND FLOOR EL. 10'-6"
 FIRST FLOOR EL. 0'-0"

3 BUILDING 2 SECTION
 1/8" = 1'-0"



DVL ARCHITECTS
 2335 SOUTH CAMPUS AVENUE
 TEMPE, ARIZONA 85282-3119
 TEL: 480.948.9331 FAX: 480.948.9332

ARIZONA STATE UNIVERSITY
 SOUTH CAMPUS RESIDENTIAL
 COMMUNITY / PHASE-2
 APACHE BOULEVARD and McALLISTER AVENUE
 TEMPE, ARIZONA

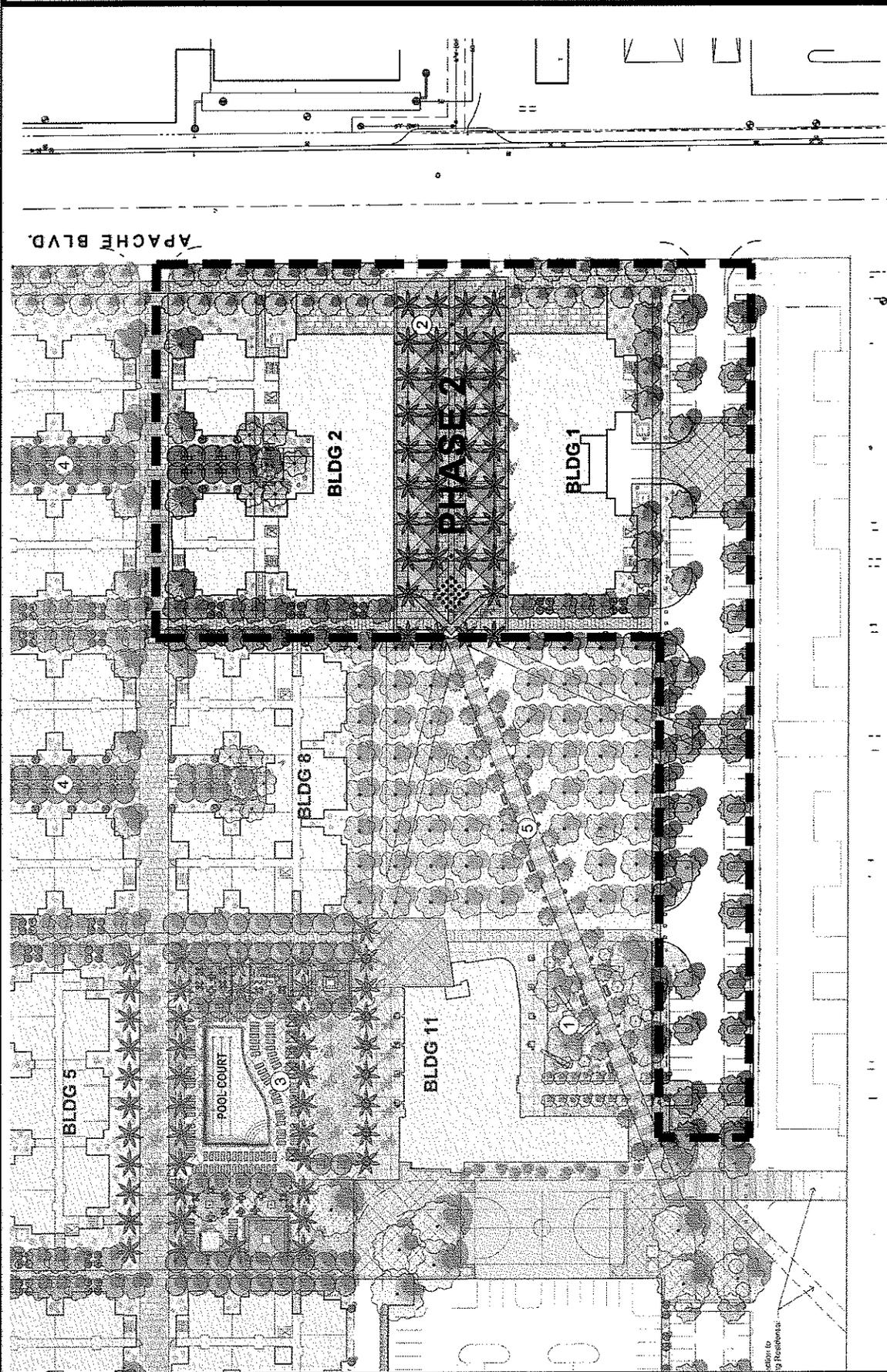


JRC SUBMITTAL
 PRELIMINARY
 NOT FOR
 CONSTRUCTION

DATE: 09/22/06
 DRAWN BY: GHO
 CHECKED BY: GHO
 PROJECT NO: 05-22-01

SCALE: 1" = 30'-0"

LANDSCAPE SITE PLAN
 L 101



LANDSCAPE SITE PLAN
 1" = 30'-0"





ikon.5
architects

ARIZONA STATE UNIVERSITY
SOUTH CAMPUS RESIDENTIAL
COMMUNITY / PHASE-2
APACHE BOULEVARD AND McALLISTER AVENUE
TEMPE ARIZONA

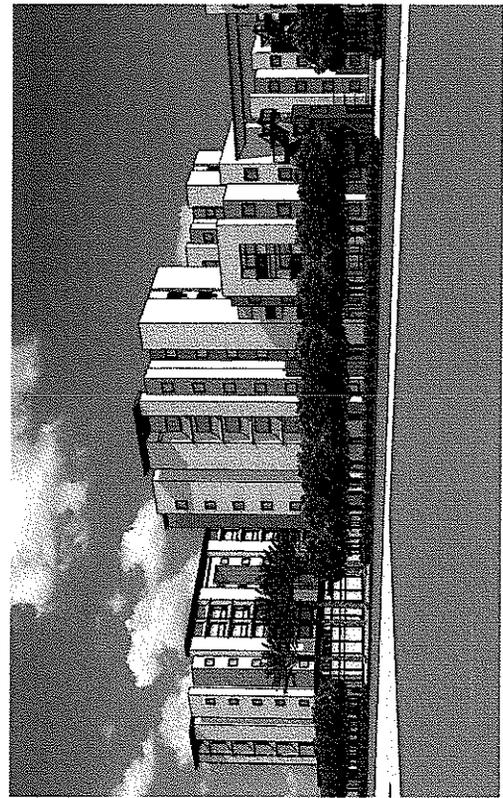


JRC SUBMITTAL
PRELIMINARY
NOT FOR
CONSTRUCTION

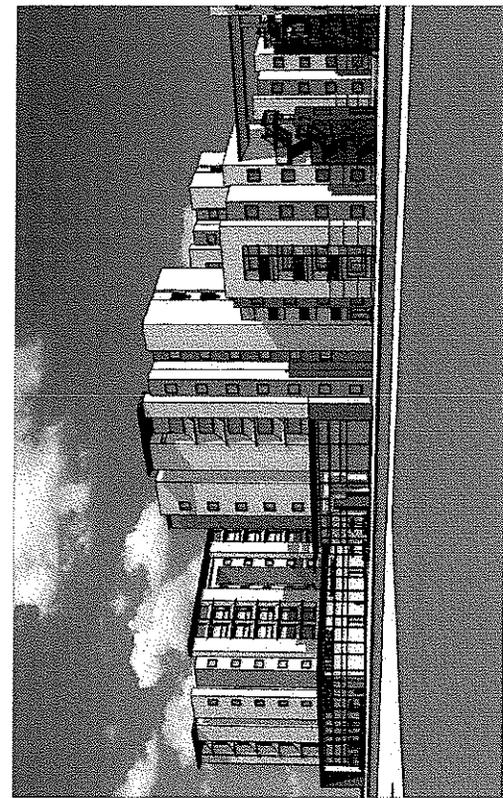
VIEW NO. 1
VIEWS
HOUSING

A308

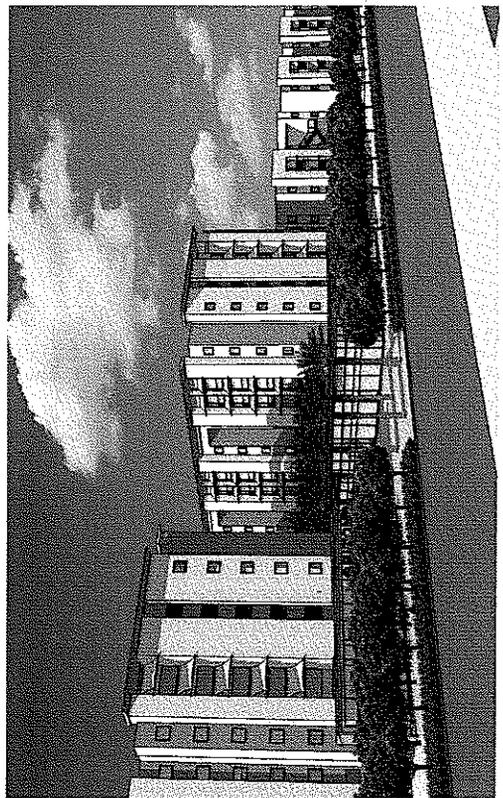
DATE: 08/19/06
PROJECT NO.: 0522.01



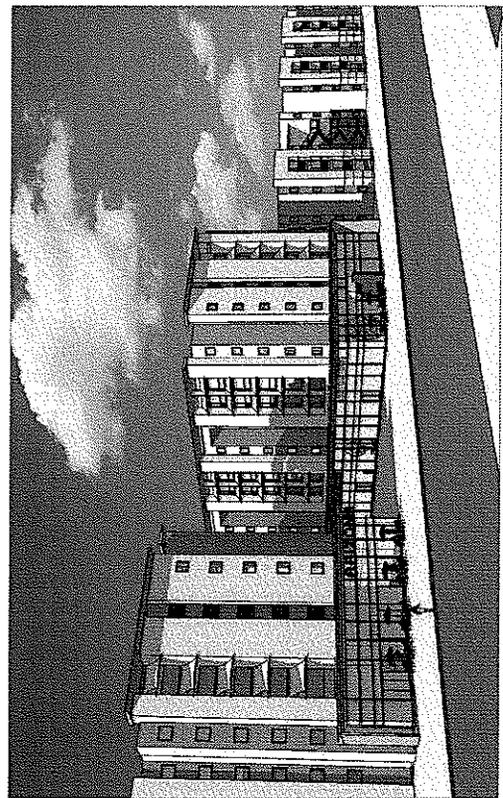
VIEW OF BUILDING 1 AND 2 FROM APACHE BLVD (LANDSCAPE ADDED)



VIEW OF BUILDING 1 AND 2 FROM APACHE BLVD (LANDSCAPE NOT SHOWN FOR CLARITY)



VIEW OF BUILDING 1, 2 AND 3 FROM APACHE BLVD (LANDSCAPE ADDED)



VIEW OF BUILDING 1, 2 AND 3 FROM APACHE BLVD (LANDSCAPE NOT SHOWN FOR CLARITY)