



Development Services Department  
31 E 5<sup>th</sup> St.  
Tempe, Arizona 85281

480-350-8341  
480-350-8677 (fax)  
[www.tempe.gov/ds/](http://www.tempe.gov/ds/)

# **Residential**

# **Detached Accessory**

# **Building**



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## **DETACHED RESIDENTIAL ACCESSORY BUILDINGS**

Garages, Ramadas, Storage sheds, Workshops, Gazebos, etc.

**Building Permit Required:** The Tempe Administrative Code as adopted by the City of Tempe requires that a building permit be obtained before erecting a detached accessory building. This applies to permanent as well as temporary structures. The requirements for each installation will vary depending upon the \*size of the structure, the materials of construction, the proposed location on property and the zoning district of the property.

\*Exception: One story detached accessory structures ancillary to R-3 and R-4 occupancies used as tool and storage sheds, playhouses and similar uses provided the floor area does not exceed 200 square feet (TAC Sec. 104.2.1 a). Please note: If a building permit is not required because of size, the Zoning requirements must still be met. See Page 2.

### **Building Permit Requirements:**

#### **Permit Application**

Completed applications must include:

- |  |   |
|--|---|
| <input type="checkbox"/> Project name and address          | <input type="checkbox"/> Proposed "use" of building       |
| <input type="checkbox"/> Applicant's name and phone number | <input type="checkbox"/> Estimated/actual cost of project |
| <input type="checkbox"/> Description of work               | <input type="checkbox"/> Applicant's signature            |

#### **Construction Plans (See examples)**

Two (2) sets provided by applicant must include:

Examples with fill-in information maybe used as some of the required plan sheets.

Site Plan (scale 1"=20') 8-1/2" x 11" copy: Show the proposed location, size and setbacks of the proposed detached building in reference to existing site specifics, i.e., property lines, existing residence, pool, etc.

Floor plan (scale 1/4"=1'): Show overall building size, window(s)/door(s) types & size/location(s), electrical outlet(s)/light(s) locations, etc.

Foundation Plan: Show footings/stem walls in plan view for all bearing walls and provide details of depth, width, reinforcing bar, etc.

Sections and Details: Show all materials of construction and all structural details and connections; footing size and depth; wall to footing connection (anchor bolts, expansion anchors, column anchors, hold-downs, etc.); wall details including sole plate materials (treated or foundation grade cedar or redwood); stud size and material; siding with moisture barrier, if required; hold-down fastener at top plate; roofing material; and interior covering (drywall, wood paneling, etc.).

Roof framing Plan (scale 1/4"=1'): Show roof framing system/roof slope, total developed height of proposed building and size/type of headers/lintels at openings.



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(Note: if “trusses” are intended to be used for the roof framing system, two copies of the truss calculations from an approved fabricator and sealed by an AZ. licensed engineer must be included in the set at the time of permit issuance.)

[ ] Elevations: Provide elevations of all views affected. Dimension overall height, windows and doors, and if required, show locations and area of attic ventilation.

BASEMENTS, BEAM SPANS OVER 20 FEET, HEADERS OVER LARGE OPENINGS, 2<sup>ND</sup> STORY ADDITIONS, RAFTERS MATERIAL SIZES THAT DO NOT MEET THE IRC SPAN TABLES, MANUFACTURED TRUSSES AND OTHER STRUCTURAL REQUIREMENTS AS DETERMINED BY THE PLAN REVIEWER MUST BE DESIGNED BY AN ARIZONA REGISTERED ENGINEER OR ARCHITECT. PLANS REQUIRING A STRUCTURAL REVIEW MUST BE SUBMITTED FOR OUR STANDARD REVIEW PROCESS.

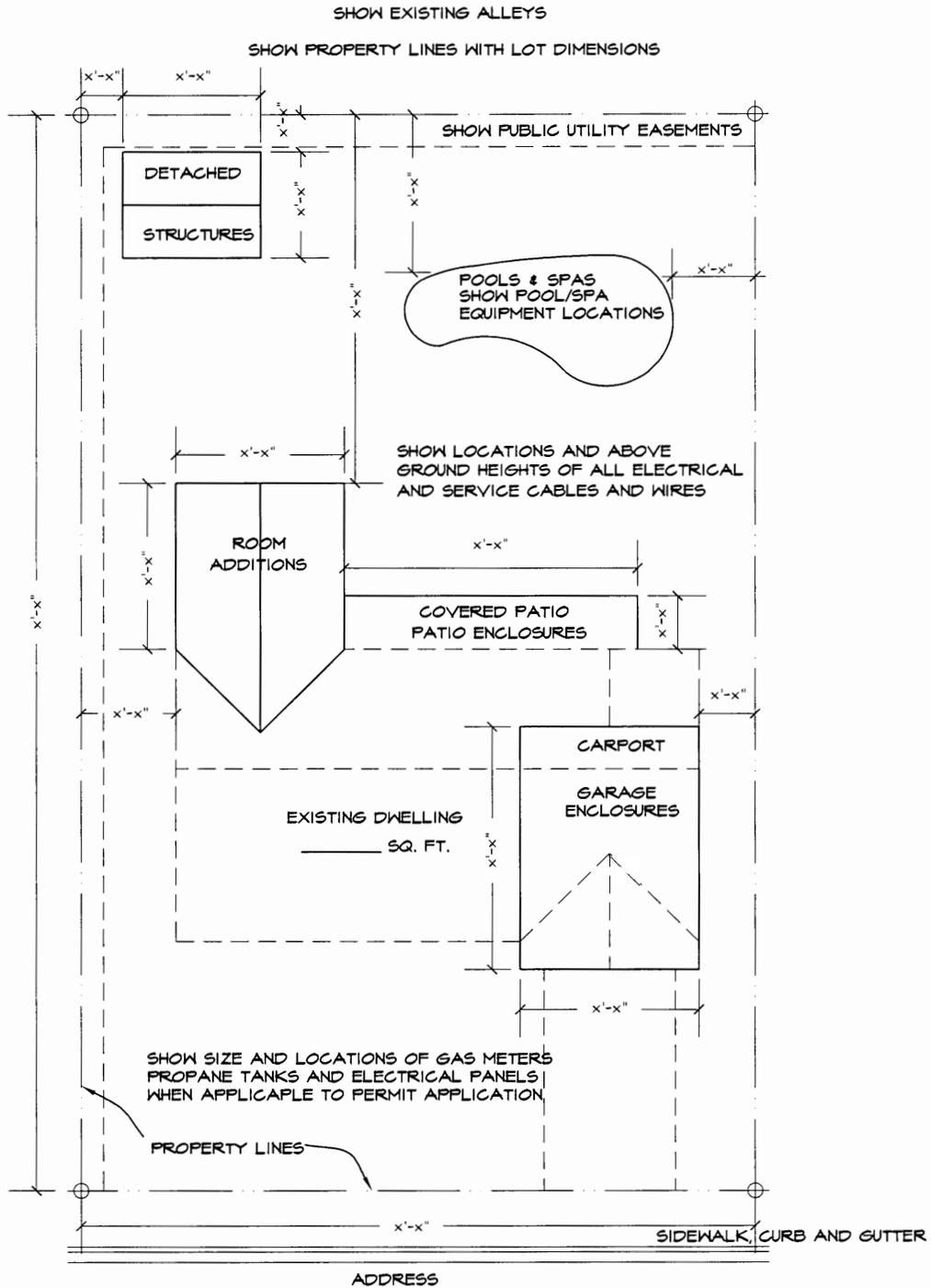
Permit Fees (see Fee Schedule) are payable by cash, check or charge

### Zoning Ordinance Requirements:

In addition to the Building Code requirements regulating materials/construction, height and location on the property, The City of Tempe Zoning and Development Code also regulates the height and location on the property for residential detached *accessory buildings*. When there is a conflict between the two regulating bodies, the more restrictive of the two shall govern. Please be advised that each type of lot, corner, interior or through, had its own setback requirements. The Zoning and Development Code, Part 3, Land Use, Chapter 4 defines *Accessory building* as: buildings that exceed two (200) hundred square feet in area or eight (8) feet in height and requires the following:

- A. *Accessory buildings* shall be incidental to the principal use.
- B. *Accessory buildings* shall occupy less floor area, cover less lot area and have a use that is secondary to the primary structure(s) and use(s) on the property.
- C. An *accessory building* may be used for home occupation in reference to Section 3-412.
- D. *Accessory buildings* shall not be used for sleeping or living purposes.
- E. *Accessory buildings* shall not have cooking facilities.
- F. *Accessory buildings* are limited to the height of the existing residence and must meet the setbacks for the district.
- G. A use permit is required for *accessory buildings* in the AG and all Single-Family Residential Districts

Note: A Use Permit must be obtained through the Development Services/Planning Division prior to the issuance of a permit for the construction of an *accessory building*. Contact the Planning Division at 480-350-8331 for Use Permit application instructions/information.



- GIVE DIMENSIONS REPRESENTED BY x'-x" WHEN APPLICABLE TO PERMIT APPLICATION
- SHOW SIZE AND LOCATIONS OF ALL EXISTING STRUCTURES, POOLS AND SPAS
- SHOW SIZE AND LOCATION OF OFF STREET PARKING WHEN GARAGE/ CARPORT IS ENCLOSED INTO LIVABLE AREA



SCALE \_\_\_\_\_ " = \_\_\_\_\_'

For Reference Only

# Residential Structures (Example)

Title

Site Plan

Sheet No.

RES - 01

NORTH

SCALE \_\_\_\_\_" = \_\_\_\_\_'

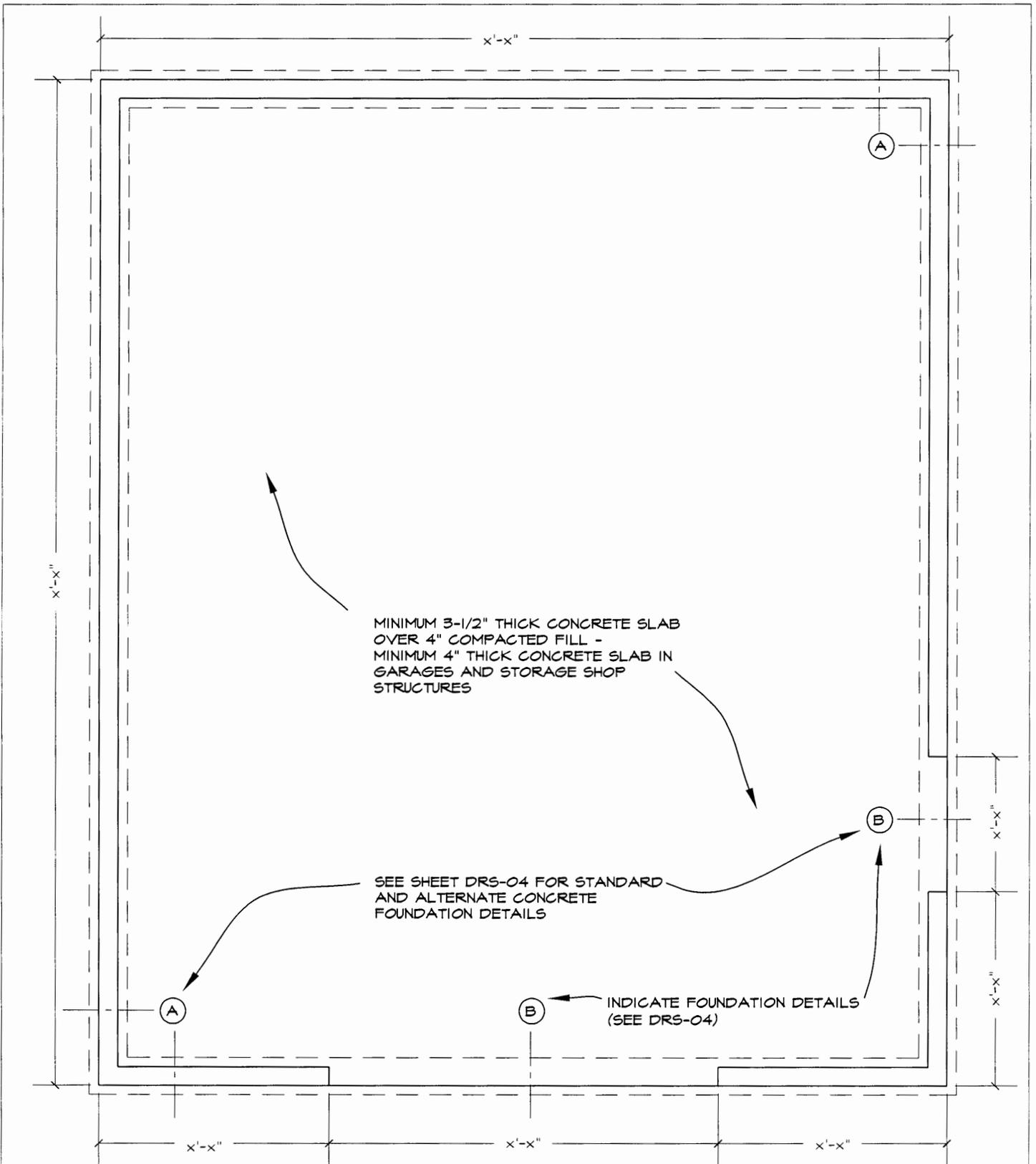
**Residential Structures**

Title

**Site Plan**

Sheet No.

**RES - 02**



- SHOW DIMENSIONS REPRESENTED BY X'-X''
- SEE SHEET RES - 01 FOR REQUIRED SITE PLAN INFORMATION

For Reference Only

# Detached Residential Accessory Structures

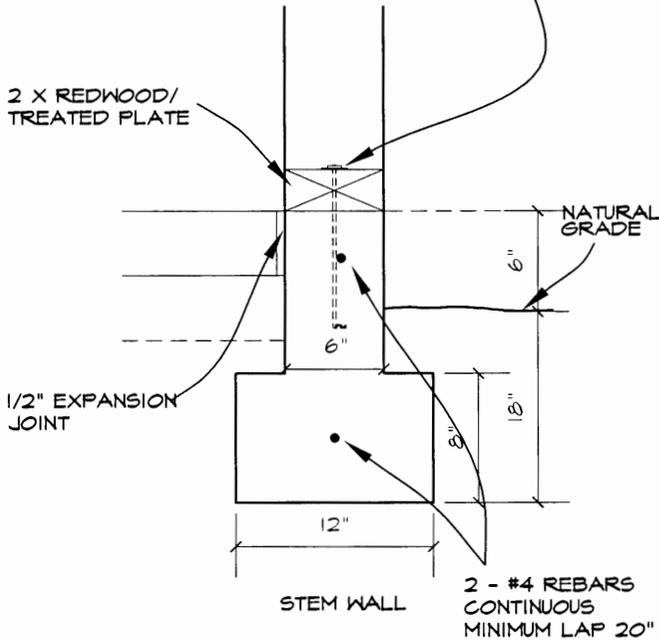
Title

Foundation Plan

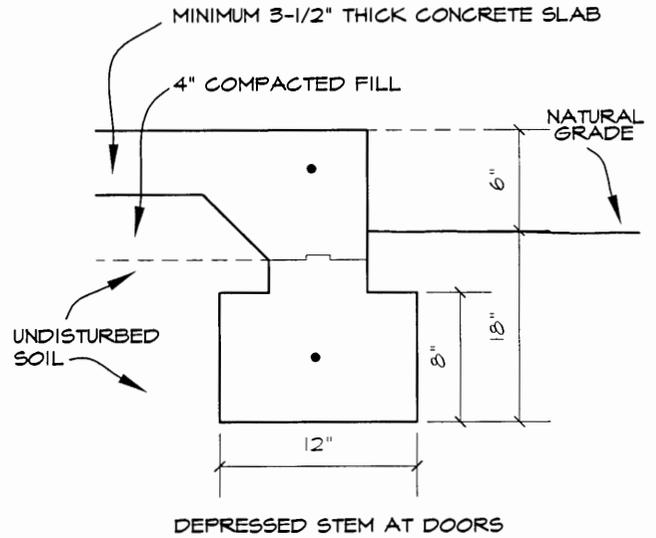
Sheet No.

DRS - 03

1/2"  $\phi$  X 10" LONG ANCHOR BOLTS AT 6'-0"  
O/C 7" MINIMUM EMBEDMENT, 12" MAXIMUM  
FROM CORNERS, SPLICES AND OPENINGS

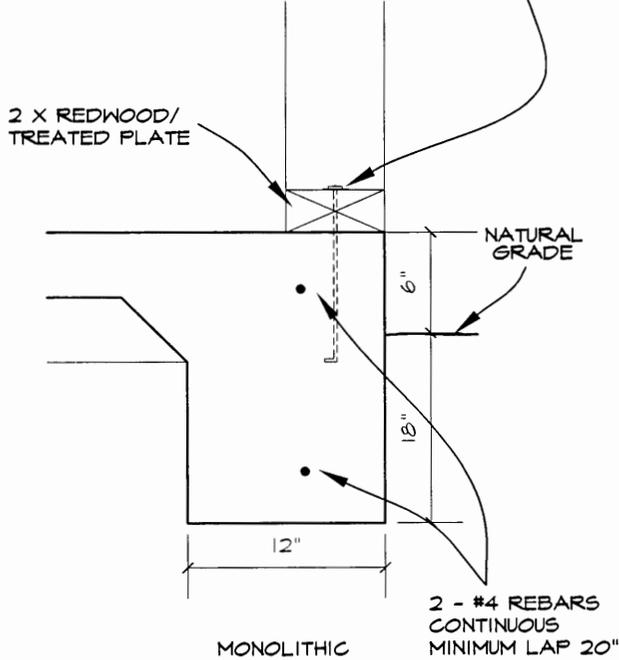


DETAIL 'A'

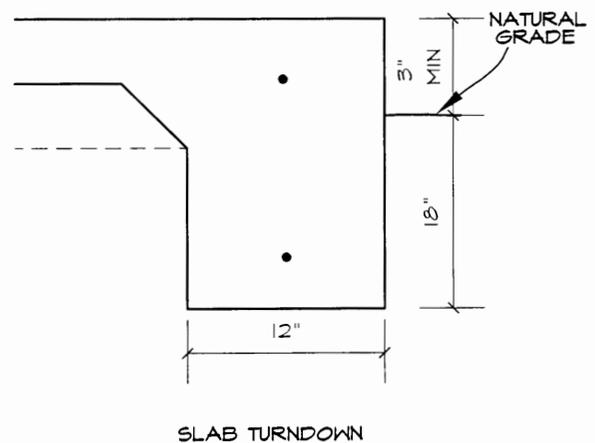


DETAIL 'B'

1/2"  $\phi$  X 10" LONG ANCHOR BOLTS AT 6'-0"  
O/C 7" MINIMUM EMBEDMENT, 12" MAXIMUM  
FROM CORNERS, SPLICES AND OPENINGS



DETAIL 'C'



DETAIL 'D'

For Reference Only

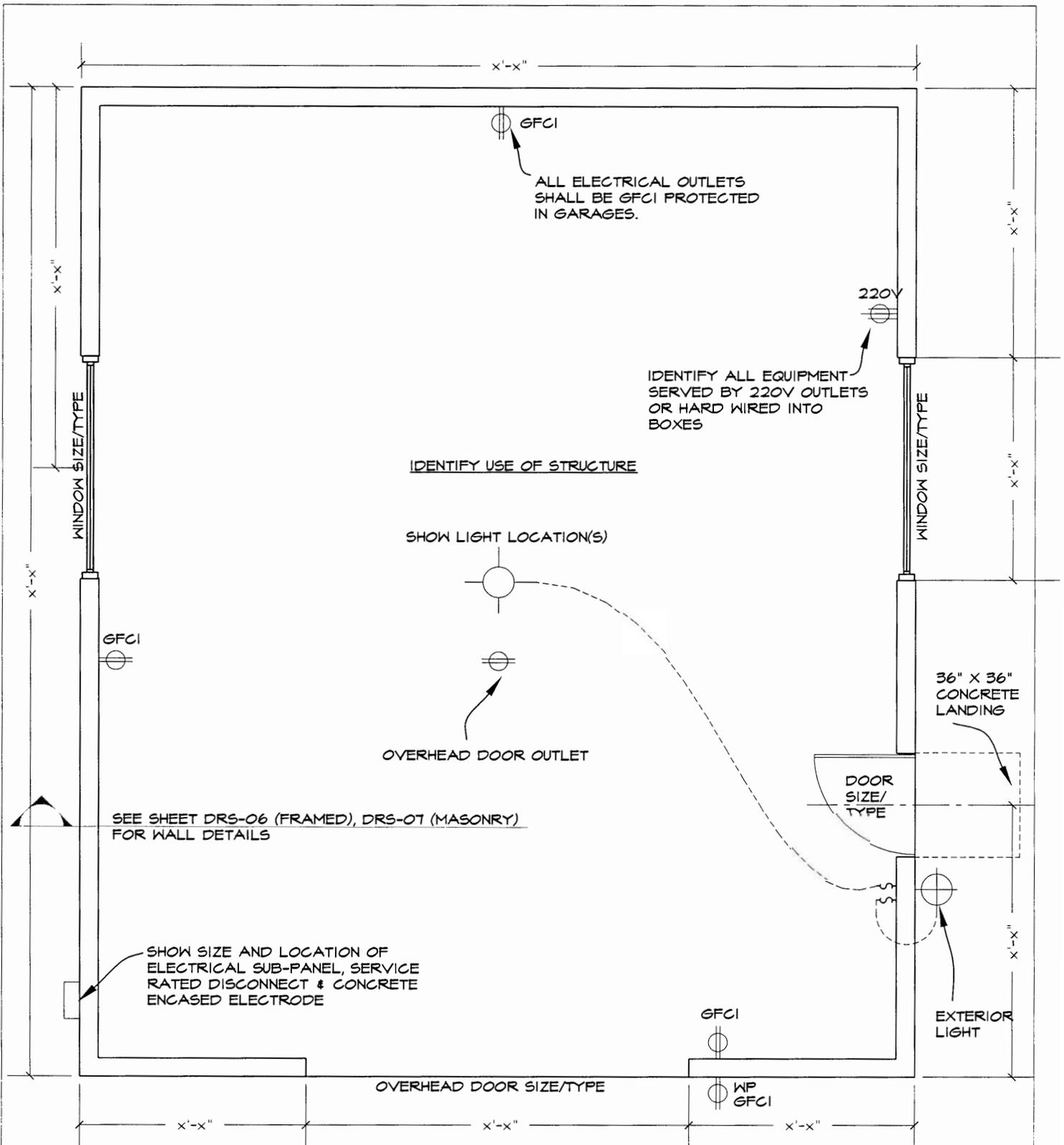
# Detached Residential Accessory Structures

Title

Foundation Plan

Sheet No.

DRS - 04



- ▣ SHOW DIMENSIONS REPRESENTED BY X'-X"
- ▣ APPLICANT IS REQUIRED TO PROVIDE ALL INFORMATION SHOWN
- ▣ APPLICANT MAY INCORPORATE ELECTRICAL, MECHANICAL AND PLUMBING INFORMATION ON FLOOR PLAN IF ALL DETAILS ARE CLEARLY LEGIBLE

For Reference Only

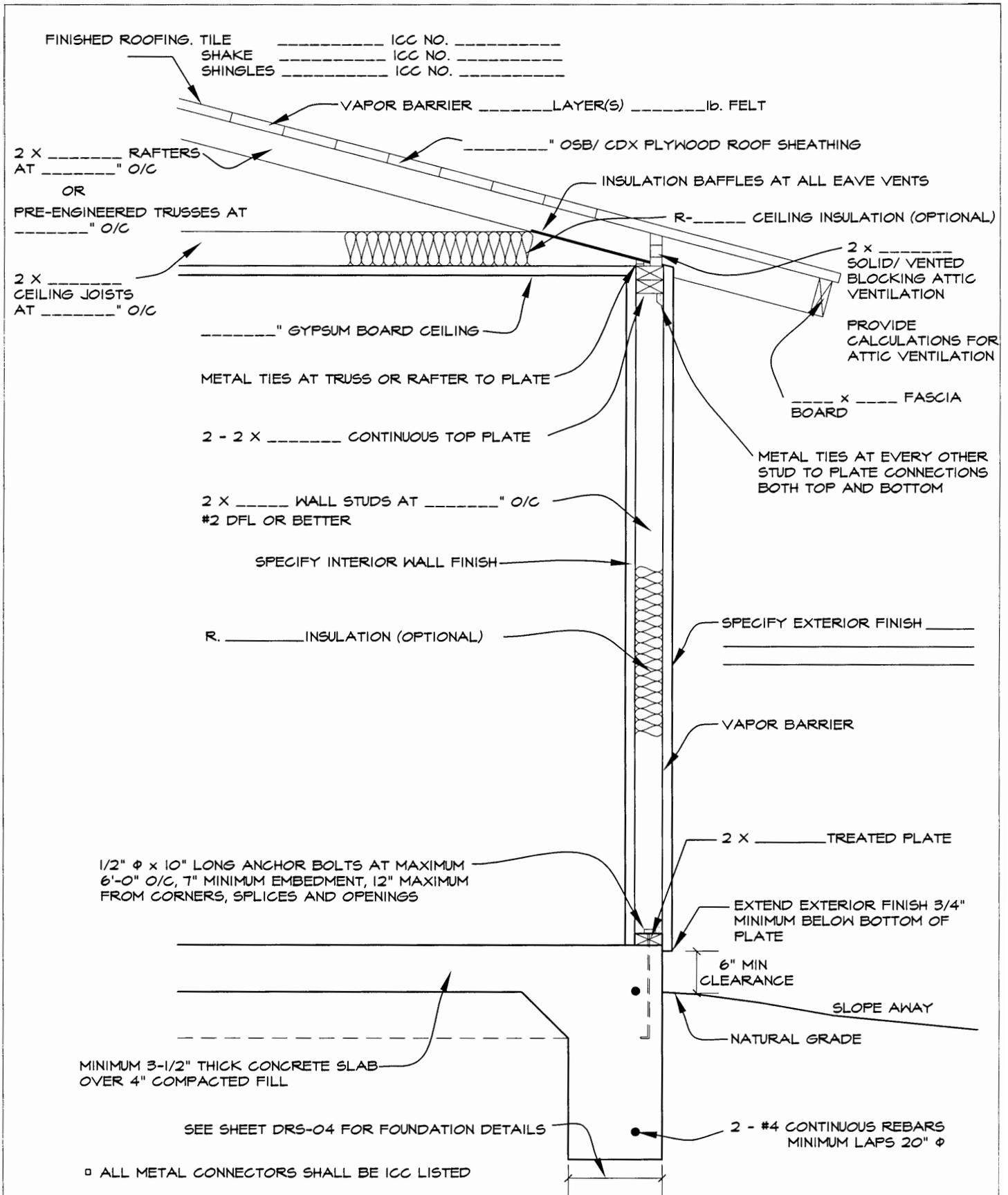
# Detached Residential Accessory Structures

Title

Floor Plan

Sheet No.

DRS - 05



For Reference Only

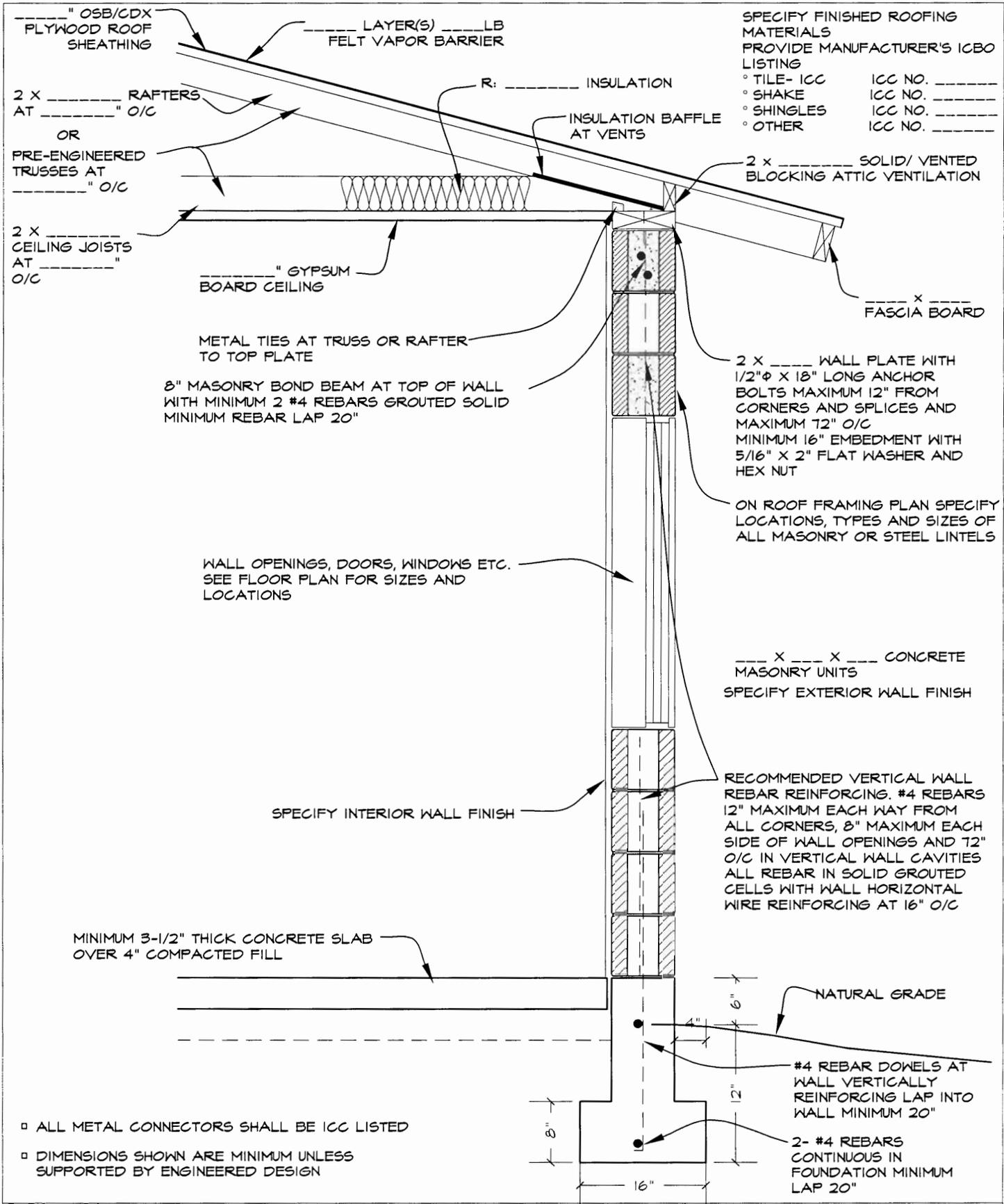
# Detached Residential Accessory Structures

Title

Wood Framed Wall Details

Sheet No.

DRS - 06



For Reference Only

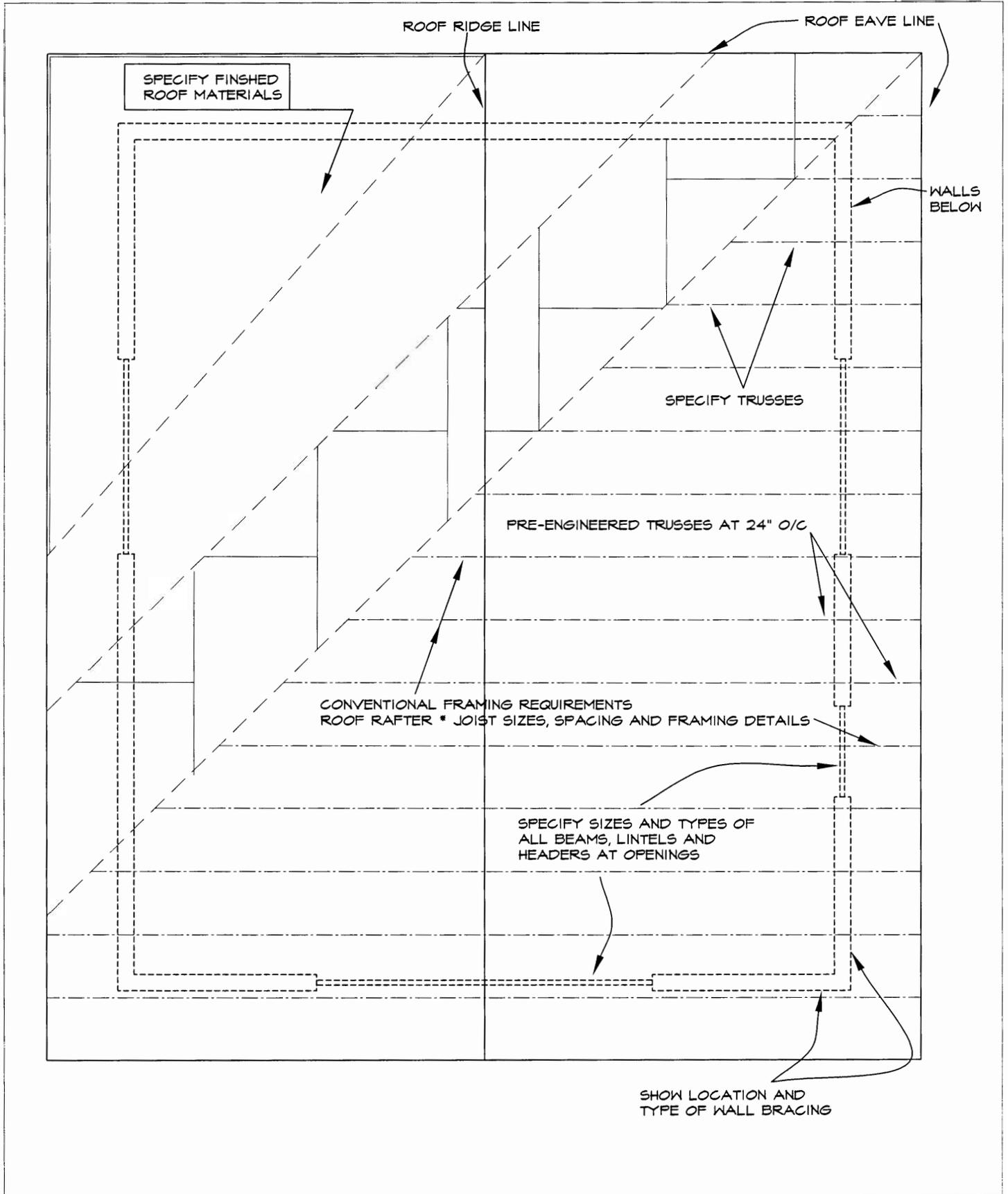
# Detached Residential Accessory Structures

Title

Masonry Wall Details

Sheet No.

DRS - 07



For Reference Only

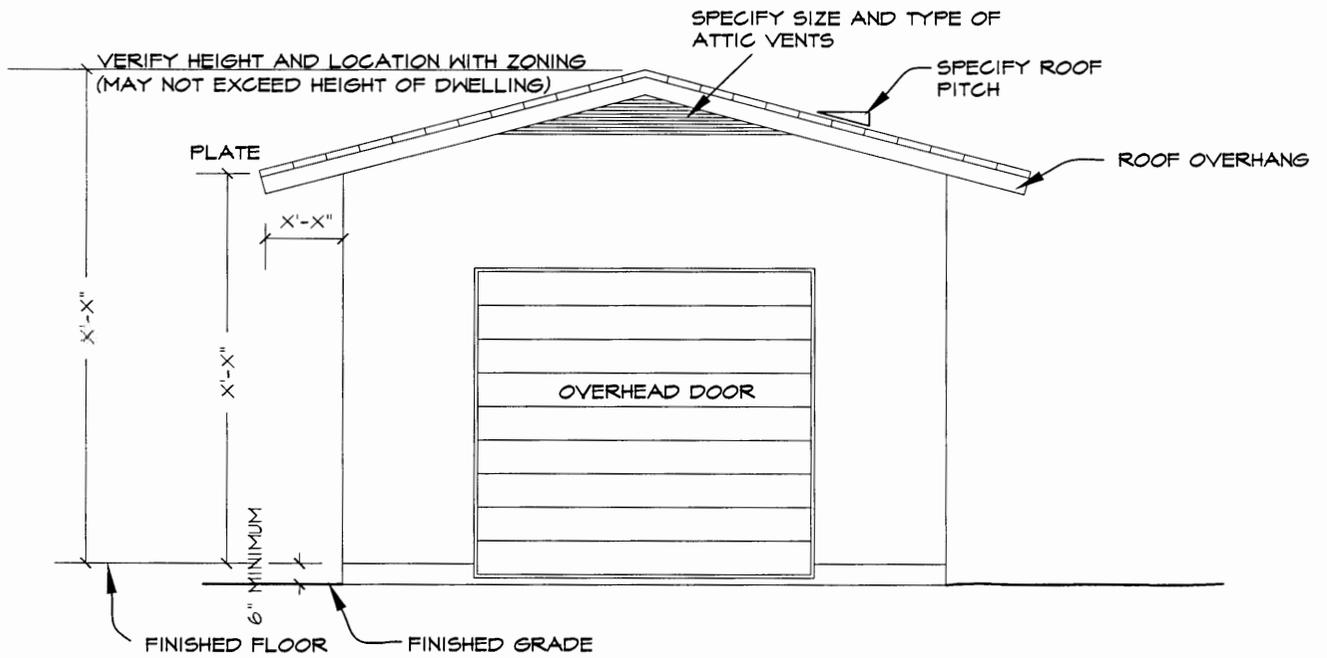
# Detached Residential Accessory Structures

Title

Roof Framing Plan

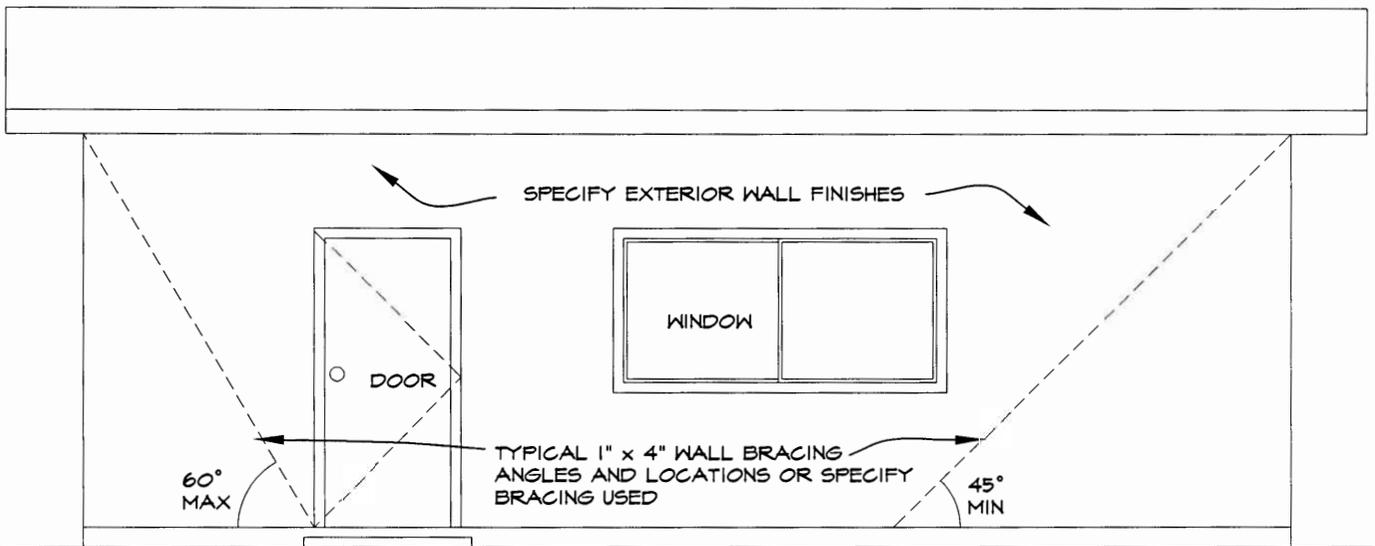
Sheet No.

DRS - 08



□ SHOW DIMENSIONS REPRESENTED BY X'-X"

**FRONT ELEVATION**



**SIDE ELEVATION**

□ PROVIDE A MINIMUM OF TWO (2) STRUCTURE ELEVATIONS

For Reference Only

**Detached Residential Accessory  
Structures**

Title

**Structure: Elevations**

Sheet No.

**DRS - 09**